



Board of Adjustment Staff Report

Meeting Date: December 1, 2016

Subject: Special Use Permit Case Number SB16-010
Applicant: Truckee Meadows Fire Protection District
Agenda Item Number: 8A
Project Summary: Construction and operation of a new fire station
Recommendation: Approval with Conditions
Prepared by: Roger Pelham, MPA, Senior Planner
Washoe County Community Services Department
Planning and Development Division
Phone: 775.328.3622
E-Mail: rpelham@washoecounty.us

Description

Special Use Permit Case Number SB16-010 (Truckee Meadows Fire Protection District, Station Number 14) – Hearing, discussion, and possible action to approve a special use permit for the construction and operation of a new fire station (Safety Services Civic Use Type).

- Applicant: Truckee Meadows Fire Protection District
Attn: Chief Moore
PO Box 11130
Reno, NV 89520
- Property Owner: Truckee Meadows Fire Protection District
Attn: Chief Moore
PO Box 11130
Reno, NV 89520
- Location: Northeast corner of Foothill Road and Broken Hill Road
- Assessor's Parcel Number: 044-300-19
- Parcel Size: ± 3 acres
- Master Plan Category: Suburban Residential (SR)
- Regulatory Zone: Medium Density Suburban (MDS)
- Area Plan: Southwest Truckee Meadows
- Citizen Advisory Board: South Truckee Meadows / Washoe Valley
- Development Code: Authorized in Article 810, Special Use Permits
- Commission District: 2 – Commissioner Lucey
- Section/Township/Range: Section 8, T18N, R20E, MDM,
Washoe County, NV

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Special Use Permit

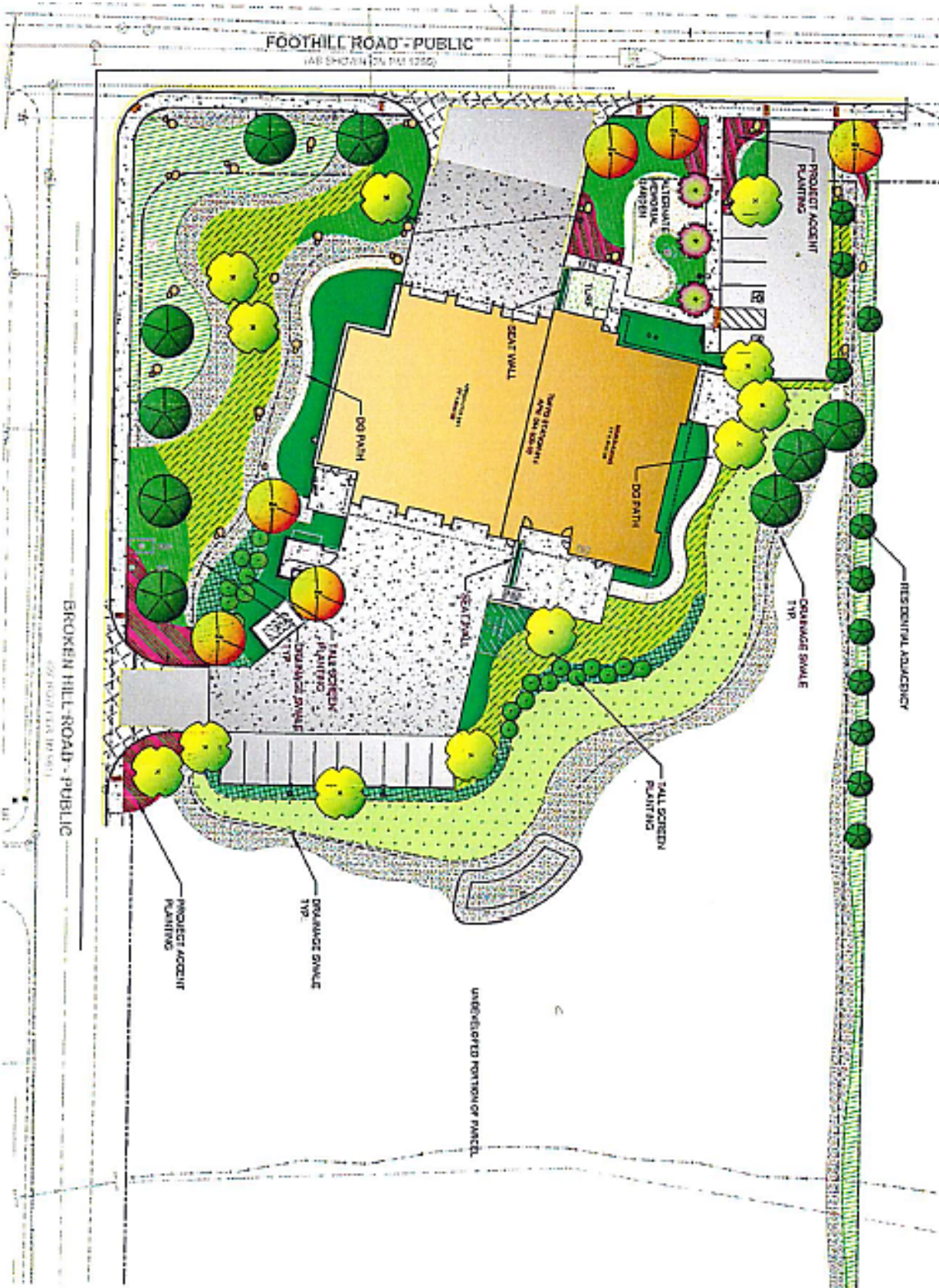
The purpose of a Special Use Permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment (BOA) grants an approval of the Special Use Permit, that approval is subject to Conditions of Approval. Conditions of Approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some Conditions of Approval are referred to as "Operational Conditions." These conditions must be continually complied with for the life of the business or project.

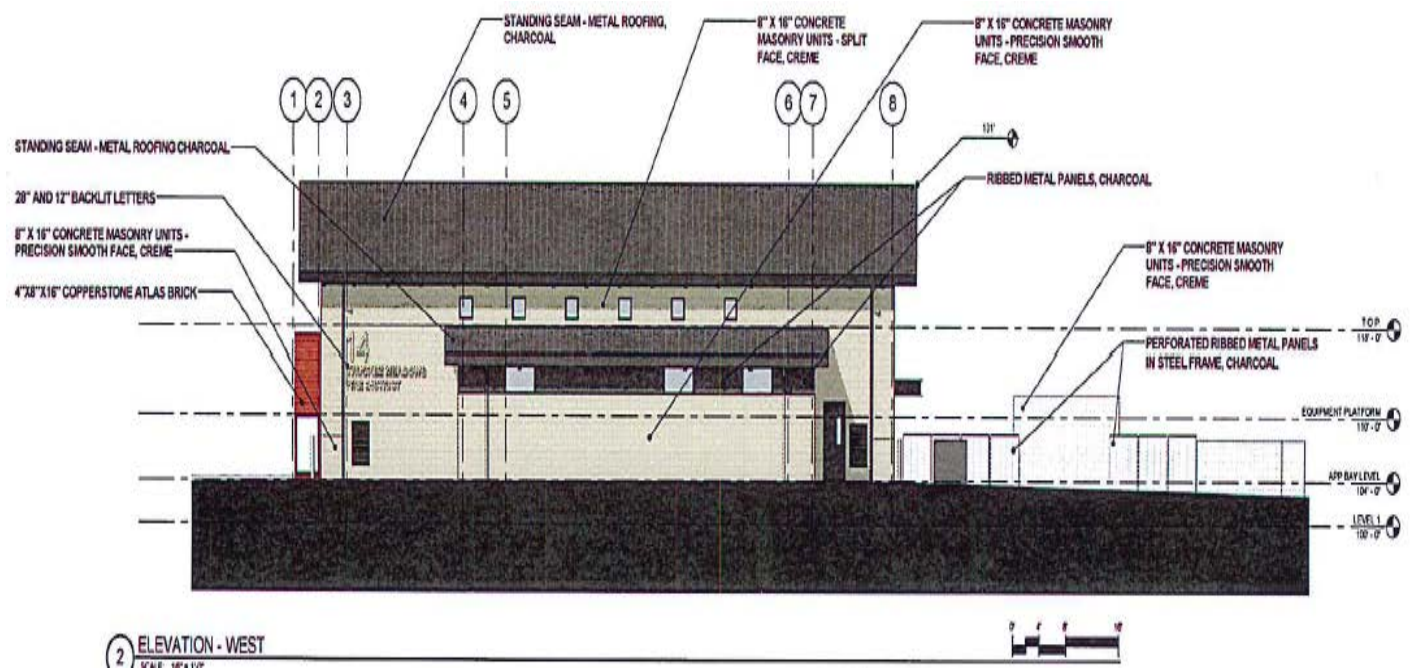
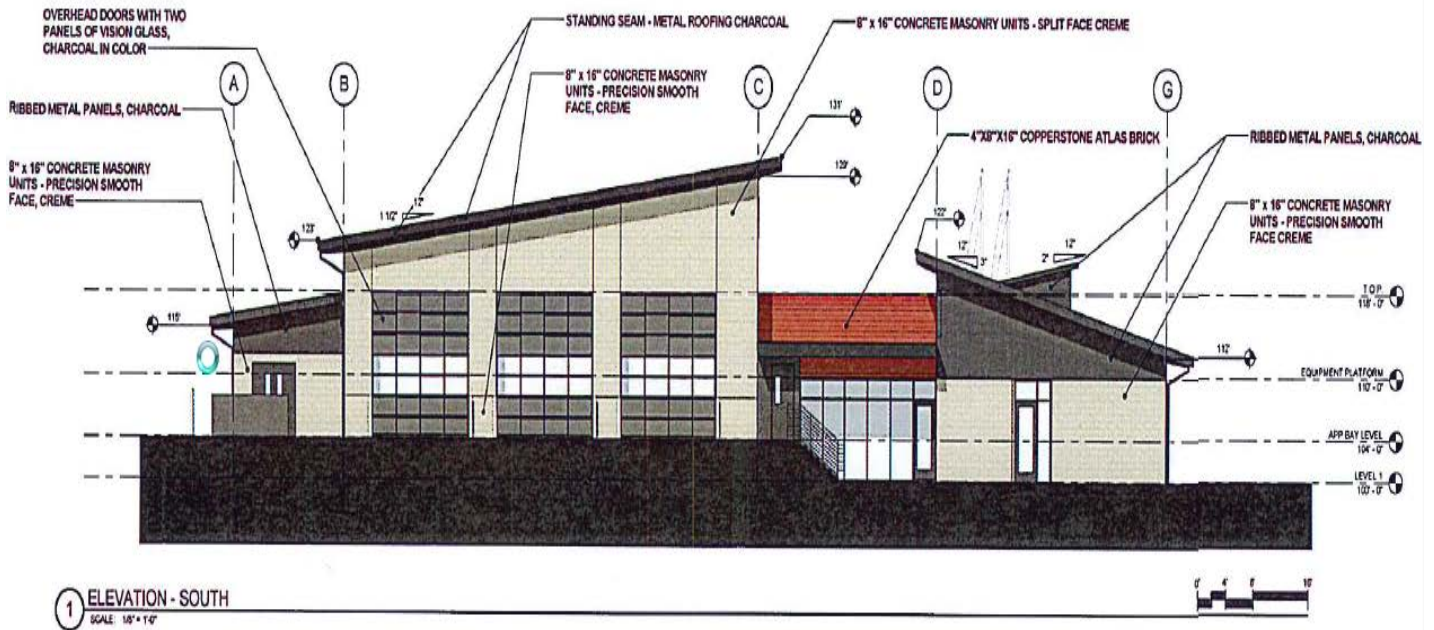
The Conditions of Approval for Special Use Permit Case Number SB16-010 are attached to this staff report and will be included with the Action Order, if the request is approved by the BOA.

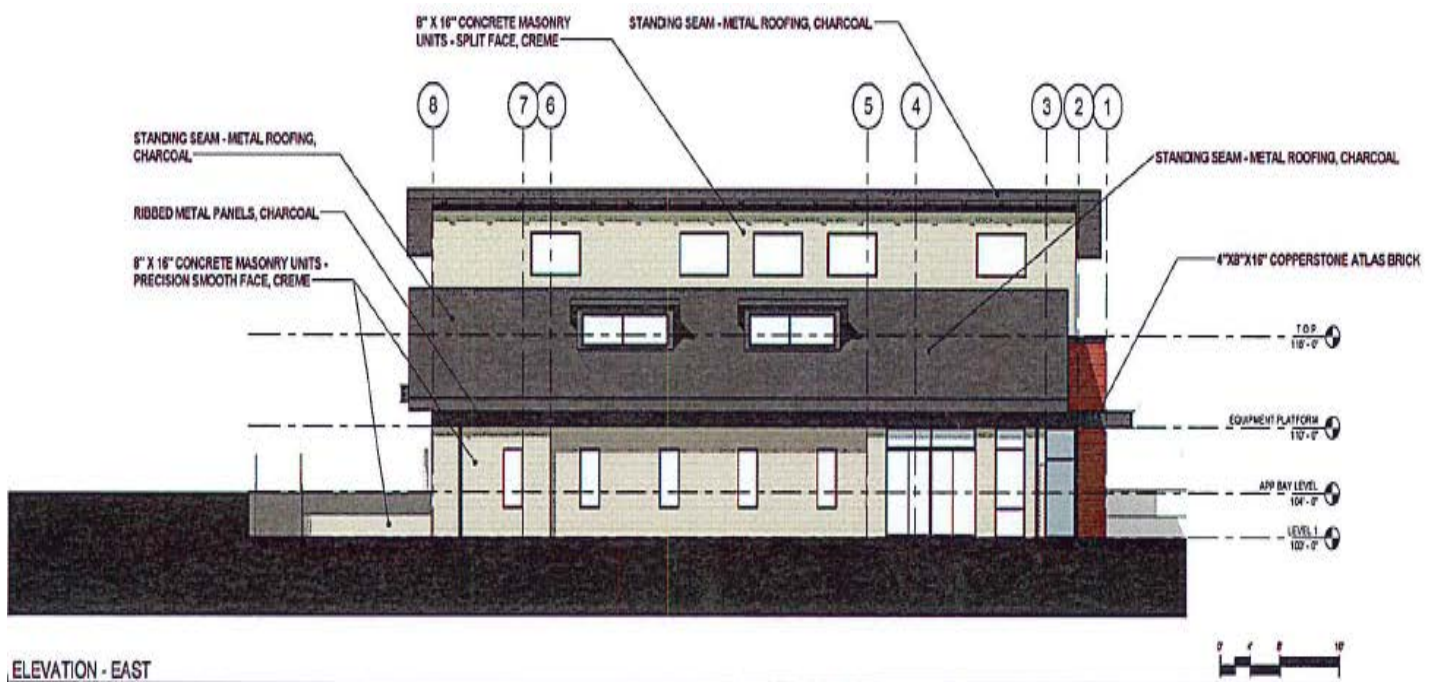
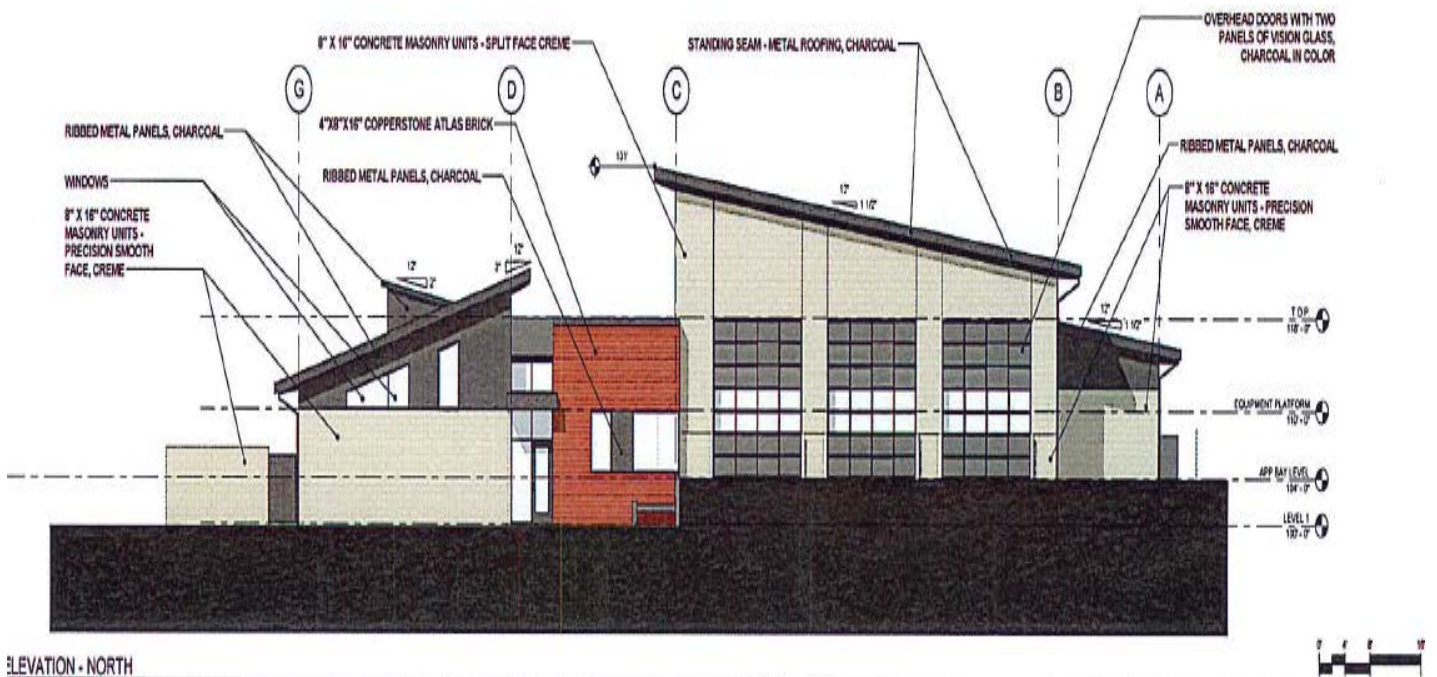


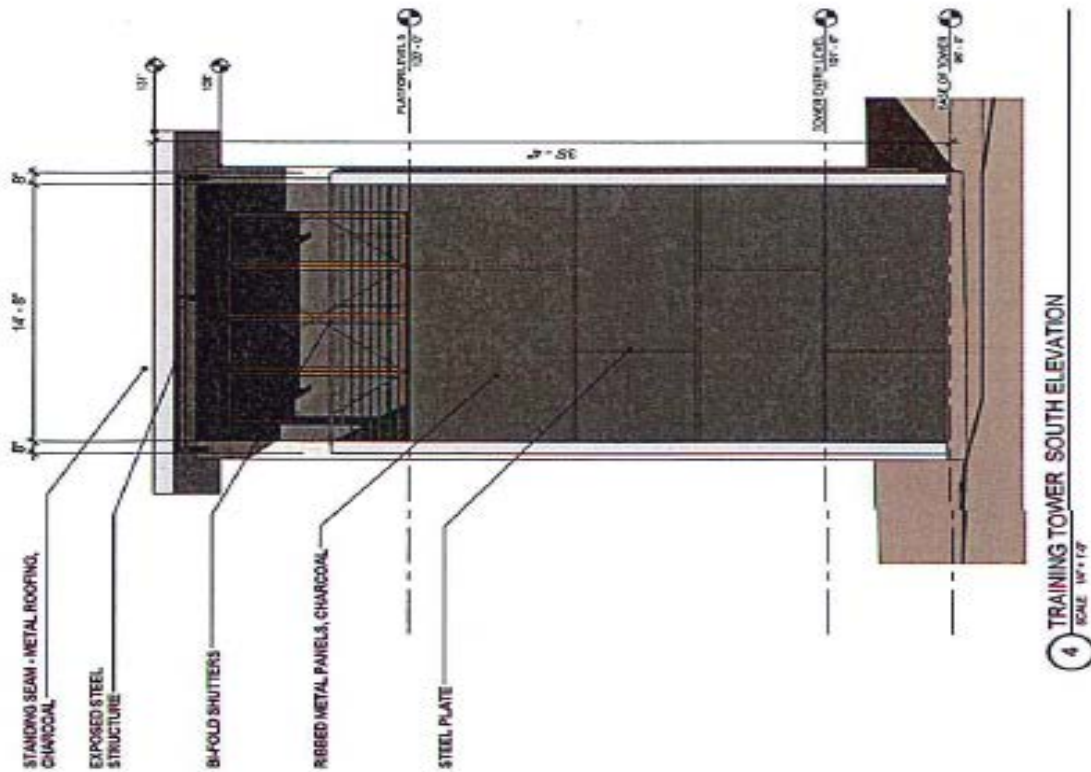
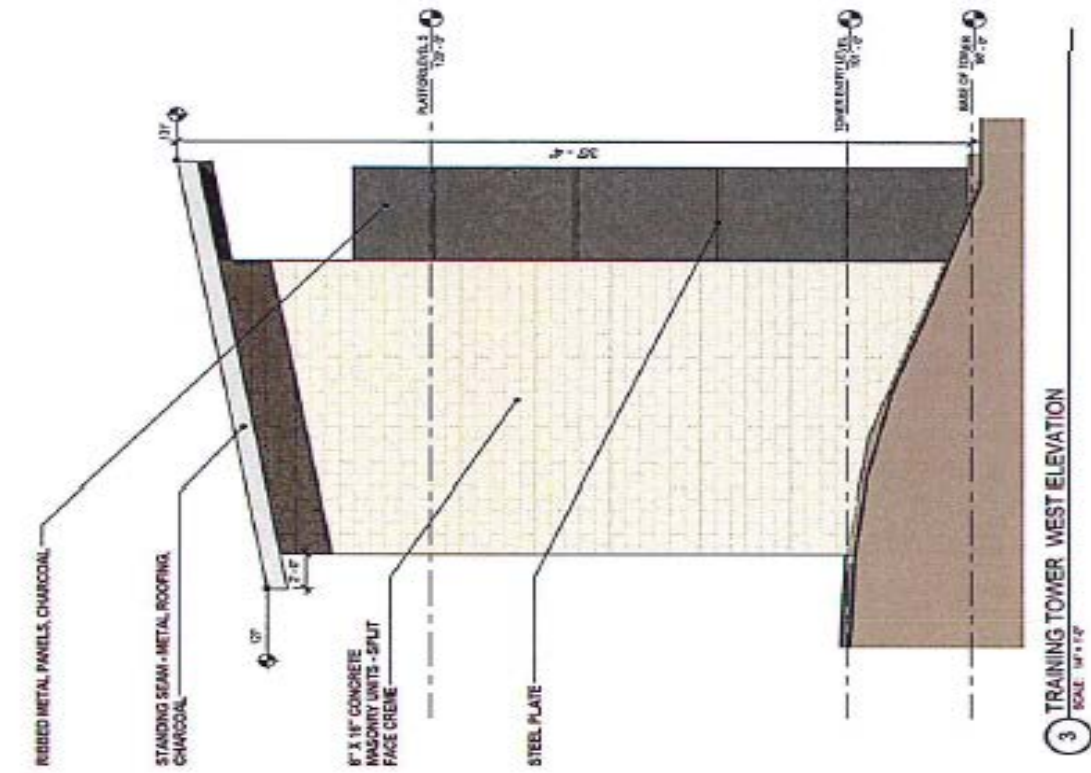
Vicinity Map

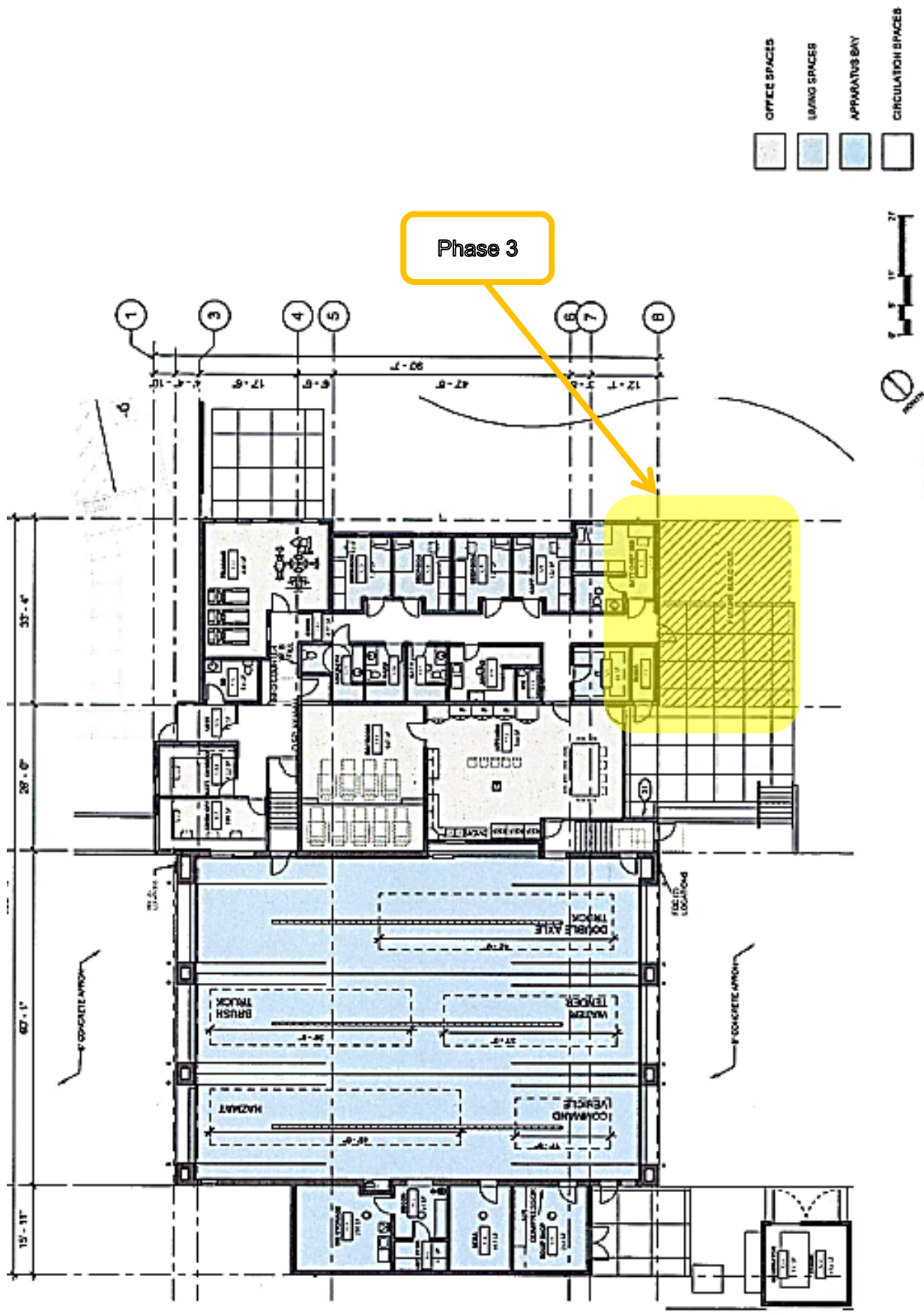


Site Plan with Landscaping





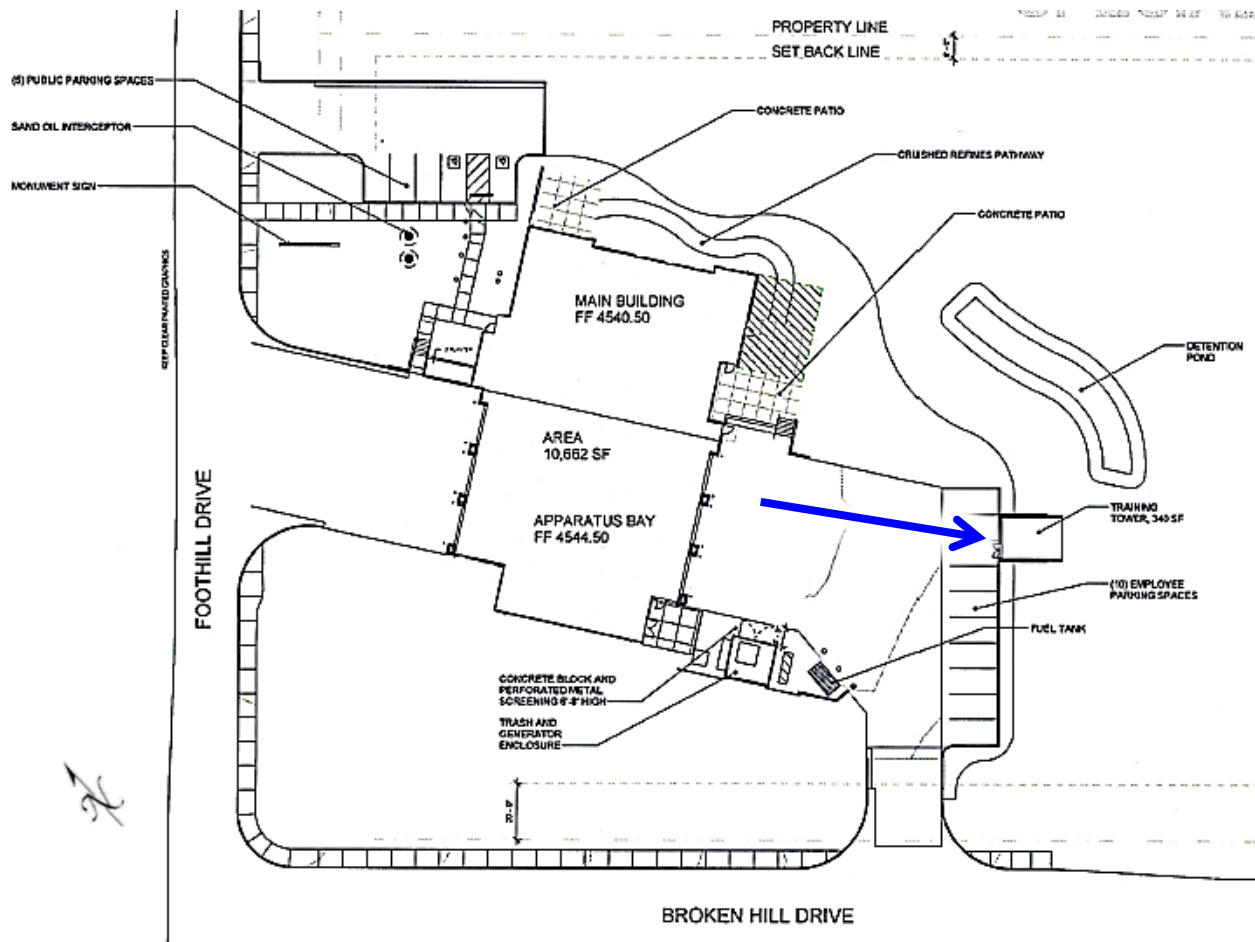




Project Evaluation

Truckee Meadows Fire Protection District is requesting to construct and operate a fire station (safety services civic use type) located at the northeast corner of Foothill Road and Broken Hill Road. The subject site is zoned Medium Density Suburban. Safety services civic use type is permissible in this zoning category, subject to the approval of a special use permit by the Board of Adjustment.

The project is proposed to be completed in three phases. The initial phase is proposed to include construction of the major part of the entire project, along with all signage, and landscaping required. The second phase includes construction of a “training tower”. A drawing of the proposed training tower is included on page 8 of this report. The location proposed for the “training tower” is indicated with the arrow on the following site plan. The area proposed for the third phase is indicated in yellow on the building floor plan on page 9 of this report. The third phase includes expansion of the living quarters to allow for additional staffing at the fire station.



The proposed architecture of the fire station (elevations are included on pages 6 and 7 of this report) is somewhat dissimilar to that of the surrounding residential and commercial development. Surrounding residential and commercial development typically include exterior finishes including natural stone, natural wood, and red brick, as can be seen in the following photographs. Surrounding residential and commercial development has occurred over several decades and includes many different architectural styles and choices of building materials.

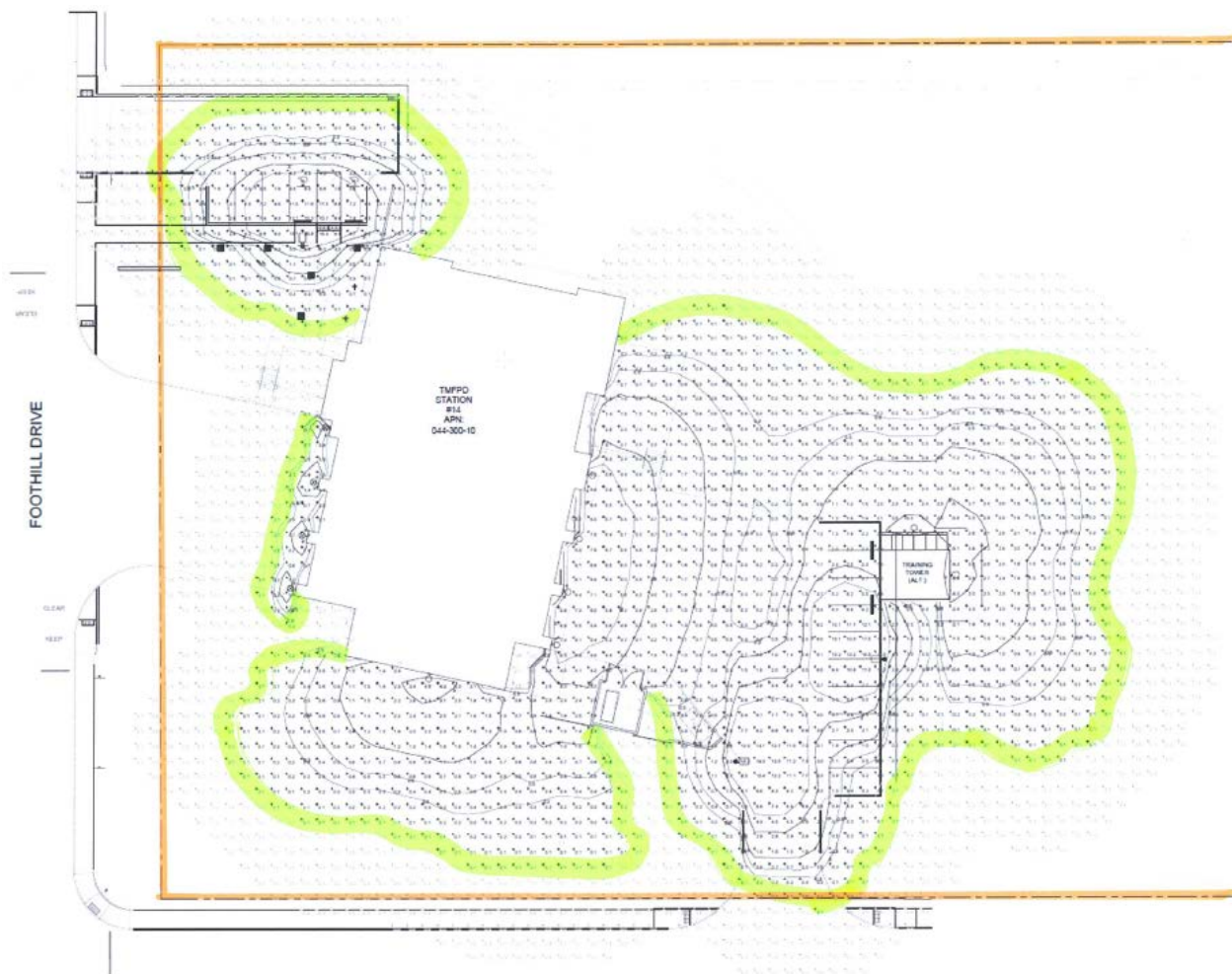


Staff has included conditions of approval to encourage the addition of natural stone, natural wood, and red brick to the building elevations. Staff believes that approval of the fire station will not be significantly detrimental to the surrounding area.

The exterior lighting proposed with the application shows that there will be light spill-over at the property line at both roads as well as the northern property line. Washoe County Development Code Section 414.21(a) requires that, "All light sources shall be located and installed in such a way as to prevent spillover lighting onto adjoining properties." Conditions of approval have been included to require that there be no light spillover at any property line. The following photometric plan shows that there is no light or glare when the numbers are "0.0". Areas without light are also indicated by the numbers being grey as opposed to black. Lit areas are shown generally within the green highlighted area. The property line is shown in orange.



The applicant later submitted the following, revised, photometric plans which show compliance with the requirements of the Development Code. This revised plan will be required for approval of building permits. Again, the property line is shown in orange and the lit areas in green.



This proposal was evaluated for consistency with the Southwest Truckee Meadows Area Plan and with generally applicable Development Code requirements as well as the findings required for approval of a Special Use Permit.

Among the applicable Area Plan Policies are the following:

SW.2.3 Applicants directed to obtain a variance, special use permit, tentative map, or master plan amendment shall be required to present their items to the Citizen Advisory Board (CAB) and submit a statement to staff regarding how the final proposal responds to the community input received at the CAB.

Staff Comment: This project was heard by the South Truckee Meadows/Washoe Valley Citizen Advisory Board on November 10, 2016. There were no negative comments expressed from the public in attendance at that meeting. The CAB voted to recommend approval of the project.

SW.2.5 Any lighting proposed must show how it is consistent with current best practice “dark-sky” standards. In subdivisions established after the date of final adoption of this plan the use of streetlights will be minimized.

Staff Comment: Conditions of approval have been recommended to ensure that all lighting is down-shielded. Washoe County Engineering and Capital Projects Division included a recommended condition of approval (number “2m” in the attached Exhibit A) to require that a streetlight be placed at each of the proposed driveways. The Area Plan, as shown above, discourages streetlights. Staff has included an option in the proposed motion to retain or

eliminate that condition of approval, and asks that the Board of Adjustment weigh the merits of including or not including streetlights as part of the project.

SW.2.8 All landscape designs will emphasize the use of native vegetation, with nonnative and atypical vegetation integrated sparingly into any landscaped area.

Staff Comment: Conditions of approval have been recommended to emphasize the use of native vegetation.

SW.2.10 The impact of development on adjacent land uses will be mitigated. The appropriate form of mitigation should be determined through a process of community consultation and cooperation. Applicants should be prepared to demonstrate how the project conforms to this policy.

Staff Comment: Architecture has been designed and conditions of approval have been recommended to encourage architecture that will mitigate the impact upon surrounding land uses.

SW.2.12 Proposals for special use permits to establish a non-residential uses in a residential regulatory zone will be subject to a Public Health Impact Review (PHIR), to be conducted jointly by Community Development staff and Washoe County District Health Department staff. The specific content and methodology of the PHIR will be determined by the Washoe County District Health Department with the cooperation of the Washoe County Community Development Department on a case-by-case basis.

Staff Comment: The Health District responded that, “the project should have no impact upon public health if proposed construction complies with the most current WCHD regulations at the time of construction.”

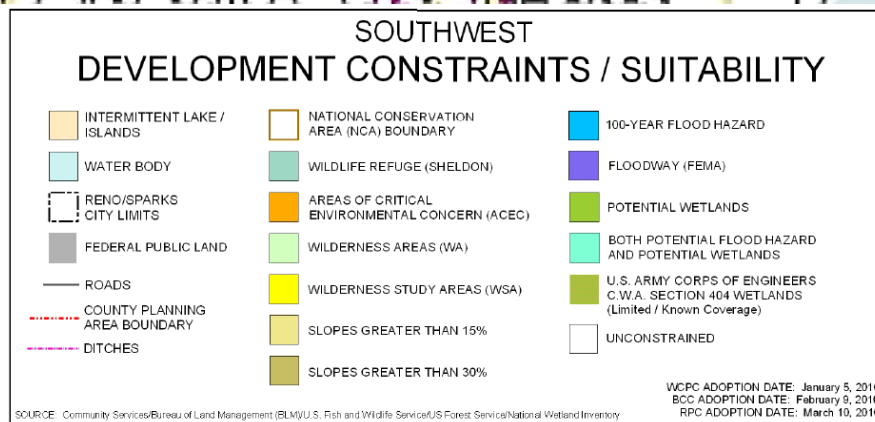
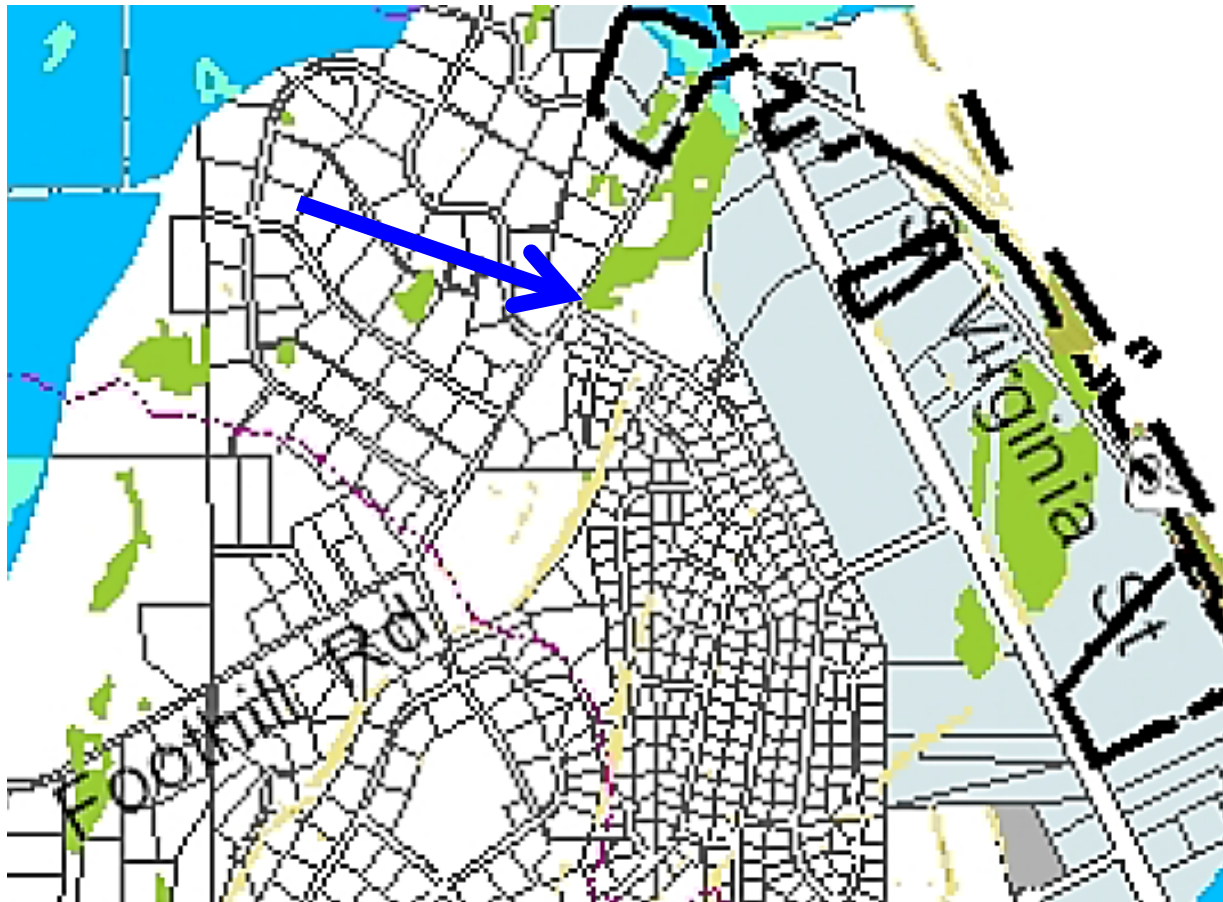
SW.2.14 The approval of all special use permits and administrative permits must include a finding that the community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts. Mitigation measures shall be reviewed by the Washoe County Planning Commission as well as by the relevant Citizen Advisory Board.

Staff Comment: Staff believes that the required finding can be made and it is included in the proposed motion and recommendation.

Goal Nineteen: Water resources and wastewater treatment and disposal will be provided to residential and non-residential uses in a manner that implements and preserves the community character as described in the SWTM Vision and Character Statement.

Staff Comment: Both water and wastewater will be provided by the appropriate utility providers. Neither a well nor a septic system are proposed with this development.

There are potential wetlands identified by the Area Plan on the subject site as can be seen in the map (next page) following. Conditions of approval have been recommended to require that the applicant provide a letter from the Army Corps of Engineers (ACOE) to Washoe County staff, verifying that there are no wetlands being impacted by the proposed fire station. If it is discovered that wetlands are present, the development must comply with the applicable Codes required by the ACOE.



Another potential impact that has been identified is the disruption to the surrounding area resulting from the use of sirens on emergency vehicles. A condition of approval has been recommended to require that the operations plan for this facility include minimizing the use of sirens while emergency vehicles are in residential areas.

South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)

This project was heard by the South Truckee Meadows/Washoe Valley Citizen Advisory Board on November 10, 2016. There were no negative comments expressed from the public in attendance at that meeting. The CAB voted to recommend approval of the project.

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Planning and Development Division
 - Engineering and Capital Projects Division
 - Utilities
 - Parks and Open Spaces
- Washoe County Health District
 - Air Quality Management Division
 - Vector-Borne Diseases Division
 - Environmental Health Division
- Washoe County Sheriff
- Washoe County School District
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Washoe-Storey Conservation District
- Nevada Department of Transportation
- Truckee Meadows Water Authority

Four out of the fourteen above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report as Exhibit A and will be included with the Action Order if the special use permit is approved by the Board of Adjustment.

- Washoe County Planning and Development addressed landscaping, parking and lighting standards and imposed operational conditions that will be in effect for the life of the project.
Contact: Roger Pelham, 775.328.3622, rpelham@washoecounty.us
- Washoe County Air Quality noted that a dust control permit will be required if the construction activities will be greater than one acre in size.
Contact: Charlene Albee, 775.784.7211, calbee@washoecounty.us
- Truckee Meadows Fire Protection District noted that generally applicable standards of Chapter 60 (Fire Code) will apply to the project.
Contact: Amy Ray, 775.326.6005, aray@tmfpd.us
- Washoe County Engineering and Capital Projects addressed technical requirements necessary for construction permits, grading, haul routes, traffic and lighting considerations.
Contact: Kimble Corbridge, 775.328.2054, kcorbridge@washoecounty.us

Staff Comment on Required Findings

Washoe County Development Code Section 110.810.30 of Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan.
Staff Comment: There are no provisions within the Master Plan or Area Plan that prohibit the proposed fire station. The proposed use is consistent with the Area Plan policies as shown on pages 13 and 14 of this report.
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.
Staff Comment: Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, and the proposed improvements are properly related to existing and proposed roadways.
3. Site Suitability. That the site is physically suitable for a fire station (safety services Civic use type), and for the intensity of such a development.
Staff Comment: The site is undeveloped at this time. The fire station will be developed in conformance with all applicable standards and the conditions of approval placed upon the development by the Board of Adjustment.
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.
Staff Comment: Subject to the conditions of approval, it is the opinion of staff that issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.
Staff Comment: There is no military installation in the required noticing distance of the proposed fire station, therefore this project will not have a detrimental effect on the location, purpose or mission of any military installation.
6. Southwest Truckee Meadows Area Plan Required Finding. Community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts.
Staff Comment: Conditions of approval have been included to encourage that the architecture of the proposed fire station include elements of the architecture of surrounding residences and commercial development, this condition is intended to preserve the community character.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Special Use Permit Case Number SB16-010 is being recommended for approval with conditions. Staff recommends that the Board of Adjustment weigh the benefits and detriments including the requirement for streetlights at each driveway and include a decision when a motion is made. Staff offers the following motion for the Board's consideration:

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with the conditions of approval included as Exhibit A (including condition #2m to require

streetlights to be installed at each driveway **OR eliminating** condition #2m so that streetlights are not installed at each driveway) Special Use Permit Case Number SB16-010 for Truckee Meadows Fire Protection District, having made the five findings required in accordance with Washoe County Code Section 110.810.30 and one finding in accordance with the Southwest Truckee Meadows Area Plan, including:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a fire station (safety services civic use type), and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of any military installation,

and

Southwest Truckee Meadows Area Plan Required Finding. Community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Development Division within 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant: Truckee Meadows Fire Protection District
Attn: Chief Moore
PO Box 11130
Reno, NV 89520

Representatives: CFA
Attn: Angela Fuss
1150 Corporate Blvd.
Reno, NV 89502

Action Order xc:



Conditions of Approval

Special Use Permit Case Number SB16-010

The project approved under Special Use Permit Case Number SB16-010 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on December 1, 2016. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the Conditions of Approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Development Division.

Compliance with the Conditions of Approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the Conditions of Approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agency.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District.**

Any conditions set by the Health District must be appealed to the District Board of Health.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Development

1. The following conditions are requirements of the Planning and Development Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. This approval is for construction and operation of a new fire station (Safety Services Civic Use Type). The Planning and Development Division shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits for phase one (main building, parking, landscaping and etc.) which must be issued by Washoe County on or before December 1, 2018. The applicant shall submit complete construction plans and building permits for phase two (training tower) which must be issued by Washoe County on or before December 1, 2021. The applicant shall submit complete construction plans and building permits for phase three (additional living accommodations) which must be issued by Washoe County on or before December 1, 2024. The applicant shall complete construction within the time specified by each of the applicable building/construction permits.
- c. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- e. Prior to any ground disturbing activity, the applicant shall submit a landscaping/architectural design plan to the Planning and Development Division for review and approval by the Design Review Committee (DRC). Said plan shall address, but not be limited to:
 1. Type and color of building materials: One or more materials with the appearance of natural stone, natural wood and red brick are encouraged to be included on all building elevations.
 2. General architectural design: Variation in color and texture of CMU (concrete masonry unit) block is encouraged.
 3. Parking, parking lot circulation and striping.

4. Signage.
 5. Exterior lighting and lighting fixtures. All exterior lighting fixtures shall be shielded such that light is emitted downward only.
 6. Fencing.
 7. Trash enclosures.
 8. Landscaping material (if plant material: type, size at time of planting, maturation size at full growth, period of time between planting and full growth), landscaping location, landscaping irrigation system, and financial assurances that landscaping will be planted and maintained.
 9. Landscape designs will emphasize the use of native vegetation.
 10. Additional areas of "tall screen planting" (as shown on the landscape plans submitted with this special use permit application) shall be included between the structure and Broken Hill Road.
 11. A landscape berm is encouraged to be included between the structure and Broken Hill Road.
 12. The training tower shall be shown. "Tall screen planting" (as shown on the landscape plans submitted with this special use permit application) shall be included on the south and west sides of the training tower.
- f. Landscaping plans shall locate all trees within the boundaries of the subject parcel. Landscaping plantings located within the public right-of-way shall consist of shrubs and ground-cover only. Landscaping elements located within the public right-of-way shall not be greater than eighteen inches in height. The applicant shall provide a copy of an approved encroachment permit prior to any improvements within the public right-of-way.
 - g. A certification letter or series of letters by a registered landscape architect or other persons permitted to prepare landscaping and irrigation plans pursuant to N.R.S. 623A shall be submitted to and approved by Planning and Development Division. The letter(s) shall certify that all applicable landscaping provisions of Development Code Articles 408, 410 and 412 have been met. Any landscaping plans and the letter(s) shall be wet-stamped. The letter shall indicate any provisions of the code that the Director of Planning and Development has waived.
 - h. All landscaping shall be maintained in accordance with the provisions found in Section 110.412.75, Maintenance. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to the Planning and Development Division, prior to a Certificate of Occupancy. The plan shall be wet-stamped.
 - i. Sign area calculations shall be included with improvement plans and must show that the area of the proposed sign is within the applicable size limitations of Development Code Article 505.
 - j. The proposed sign shall maintain a setback of at least 5 feet within the boundaries of the subject parcel.
 - k. Photometric plans shall include the property lines and shall show that there is no light or glare at any property line. Photometric plans shall include any light emitted from the proposed freestanding sign as well as any building-mounted signage.
 - l. Sidewalk, curb, and gutter shall be installed along the entire length of the parcel adjacent to Broken Hill Road.

- m. Prior to approval of any construction permits, the applicant shall provide a letter from the Army Corps of Engineers (ACOE) to Washoe County staff, verifying that there are no wetlands being impacted by the proposed fire station OR that the development proposal complies with the applicable ACOE requirements.
- n. The following **Operational Conditions** shall be required for the life of the project:
 - 1. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - 2. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Development Division.
 - 3. The applicant and any successors shall direct any potential purchaser and/or the special use permit to meet with the Planning and Development Division to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning and Development Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - 4. Except as otherwise required by law, the operations plan for this facility shall include the minimization of use of sirens in residential areas.

Washoe County Engineering and Capital Projects

- 2. The following conditions are requirements of Engineering and Capital Projects, which shall be responsible for determining compliance with these conditions.

Contact Name – Kimble Corbridge, 775.328.2054, kcorbridge@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. For construction areas larger than 1 acre, the developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The developer shall complete and submit the Construction Permit Submittal Checklist, place the 5 standard notes on the plans and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition
- d. Applicant shall indicate, on the plans, the location to which exported materials will be taken and a grading permit shall be obtained for the import site.
- e. Exported materials shall not be sold without the proper business license.
- f. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
- g. All roadway improvements necessary (including but not limited to, curb, gutter, sidewalk, signing and striping, driveway access, and street lighting) to serve the project shall be

designed and constructed to County standards and specifications to the satisfaction of the County Engineer.

- h. A detailed traffic report shall be prepared by a registered engineer and shall address driveway locations and turning movements, delivery truck patterns and movements, and provide recommendations on acceleration/deceleration lanes, storage lanes, and access control. The County Engineer shall be responsible for determining compliance with this condition and the traffic improvements that are required.
- i. The driveway access off Broken Hill Road should align with the intersection of Raintree Court.
- j. Driveway locations and design shall conform to the Washoe County Code Article 436 for commercial driveways.
- k. The applicant shall submit a detailed geotechnical analysis and report for pavement design recommendations to the County Engineer for review and approval. The report shall be based on the estimated traffic loadings for a 20-year design life and shall include assumptions concerning the distribution of trucks and buses, to include project construction truck traffic. The resultant pavement thickness in the geotechnical analysis must be used if the report indicates a structural section that is stronger than minimum, if required.
- l. Prior to ground-disturbing activity, a proposed Construction Traffic Haul Route Plan shall be submitted to the Engineering Division for review and approval. Any existing or proposed roads that will be used as construction haul routes and are not designated truck routes must be evaluated by a geotechnical study to determine the existing structural section and its load capacity. If the pavement section is inadequate to support the proposed construction loadings, the roadway must be redesigned or reconstructed as needed to provide a 20-year design life in accordance with the AASHTO Interim Guide for Flexible Pavement.
- m. Streetlights shall be installed at the two fire truck driveway intersections with County rights-of-way.
- n. A pedestrian walkway plan shall be approved by the County Engineer prior to the finalization of construction improvement drawings.
- o. A detailed hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- p. Any increase in storm water runoff resulting from the development and based upon the 100-year storm shall be detained on site to the satisfaction of the County Engineer.
- q. The developer shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.
- r. All improvements within the county right-of-way shall be constructed in accordance with the latest county codes and the latest county standard specifications and details.
- s. A street excavation permit is required for any work (including, but not limited to, driveway and culvert installations and utility connections) to be performed within the Washoe County right-of-way.

- t. A Regional Road Impact Fee (RRIF) will be required for the fire station.

Washoe County Health District

- 3. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

Contact Name – Albee, Charlene, 775.784.7211, cable@washoecounty.us

- a. A dust control permit shall be obtained prior to any construction activities if the construction activities will encompass more than an acre.

*** End of Conditions ***

Concerns raised at the CAB meeting include:

- 1) How will traffic be impacted on the rural roadway.
- 2) Will solar panels be installed on the roof.
- 3) The location should be further east, and further away from existing residences.
- 4) Safety in relationship to proximity to the school.
- 5) There are houses to the north. Will sirens be used immediately upon exit from the firehouse.
- 6) Has feedback from the neighbors been taken into consideration.
- 7) What will happen to the existing fire station.

The CAB voted unanimously to recommend approval of the special use permit.

From: Bob wideman <bob.wideman@charter.net>
Sent: Wednesday, November 02, 2016 10:39 AM
To: Pelham, Roger
Subject: SB16-010 Truckee Meadows Fire Protection District Station#14

Hello Roger,

I have reviewed the application for TMFPD Station 14. As a resident of Raintree Ct, I will be in close proximity to the operation at the proposed fire station. I believe that enhancements to public safety are good, but I have a couple concerns.

1. I suggest that there be appropriate conditions to limit the unnecessary use of emergency vehicle sirens during traditional sleeping hours. During those hours, traffic in the area is typically very light and there should be no need to wake nearby residents unnecessarily.
2. Foothill Road is a narrow two lane road. Utility poles are close to the roadway and virtually no shoulder exits. The application discusses the addition of some sidewalks to accommodate pedestrians. Those sidewalks are probably needed all the way to Virginia Street. While the road often has light traffic, there are periods when it becomes quite congested. These periods generally coincide with the start and end to each school day, with both Marvin Picollo and Elizabeth Lenz Schools contributing to the traffic. That traffic consistently leads to backup and congestion at the intersection with South Virginia. At such times, fire apparatus using the planned egress will be impeded and force fire apparatus to drive on the wrong side of the road to circumvent the problem. That will create a hazard to the motoring public as well as fire personnel. That problem will become worse over time with area growth. That problem could be relieved with a widening of Foothill Road, a redesign of the traffic management curbing near the intersection with South Virginia, or direct egress from the fire station to South Virginia.

I would support the issuance of the Special Use Permit provided that those two issues are adequately addressed.

Thank you,

Robert F. Wideman
10060 Raintree Ct
Reno NV 89511

From: Albee, Charlene
Sent: Thursday, October 20, 2016 11:19 AM
To: Pelham, Roger
Cc: wolf, Mike
Subject: Fw: October Agency Review Memo IV
Attachments: October Agency Review Memo IV.pdf

Hi Roger,

I reviewed Item #2 and the only air quality issue will be the standard requirement for a dust control permit if the construction activities will be more than an acre.

Thank you for the opportunity to review the project.

Charlene Albee
Director | Air Quality Management Division | Washoe County Health District
calbee@washoecounty.us | O: (775) 784-7211 | 1001 E. Ninth St., Bldg. B, Reno, NV 89512

From: Dayton, Brittany
Sent: Friday, October 21, 2016 11:04 AM
To: Emerson, Kathy
Subject: RE: October Agency Review Memo IV

Hello Kathy,

We have no comments from the EMS Program on Item 2. Please let me know if you have any questions.

Thanks and have a good weekend,

Brittany

From: Emerson, Kathy
Sent: Wednesday, October 19, 2016 2:05 PM
To: Wolf, Mike; Rubio, Wesley S; English, James; Dayton, Brittany
Subject: October Agency Review Memo IV

Good afternoon,

Please find the attached Agency Review Memo with cases received in October by Washoe County Community Services Department, Planning & Development.

You've each been asked to review the below-listed applications as indicated. The item descriptions and links to the applications are provided in the memo. Please remember to send any agency review responses/comments directly to the Planner for the case, rather than replying to me.

Mike Wolf (Air Quality): Item 2

Wes Rubio/Jim English (Env Health.): Item 2

Brittany Dayton (EMS): Item 2

Thank you!

Kathy Emerson

Administrative Secretary Supervisor | Community Services Department
kemerson@washoecounty.us | 775-328-3615 | 1001 E. 9th St., Reno, NV 89512

www.washoecounty.us/csd



Amy Ray
Fire Marshal

Tim Leighton
Division Chief

Charles A. Moore
Fire Chief

October 27, 2016

Washoe County Community Services Department
1001 East Ninth Street
Reno, NV 89512

Re: Special Use Permit Case Number: TMFPD Station 14

The Truckee Meadows Fire Protection District (TMFPD) will approve the above permit with the following conditions:

- Any developments on the property shall meet the requirements of WCC 60. This shall include, but is not limited to, the requirements for exterior construction and defensible space/open space planning in accordance with the *Wildland Urban Interface Code*, access requirements, and water for fire suppression. Plans for development of parcels shall be submitted for review and approval to TMFPD.

Please contact me with any questions at (775) 326-6005.

Thank you,

Amy Ray
Fire Marshal

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
1001 E. Ninth St. Bldg D 2nd Floor • Reno, Nevada 89512 • PO Box 11130 • Reno, Nevada 89520
Office 775.326.6000 Fax 775.326.6003

SB16-010
EXHIBIT D

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

October 25, 2016

Roger Pelham, MPA, Senior Planner
Washoe County Community Services
Planning and Development Division
PO Box 11130
Reno, NV 89520-0027

RE: TMFPD Station 14; APN 044-300-19
Special Use Permit, SB16-010

Dear Mr. Pelham:

The Washoe County Health District, Environmental Health Services Division (Division) Engineering has reviewed the above referenced project. The project is proposing a new Fire Station that will serve the surrounding area. Approval by this Division is subject to the following conditions:

1. The WCHD has reviewed the special use permit. The proposed construction will be served by municipal water and sewer.
2. All proposed construction and development of the lot must meet the requirements in the DBOH Regulations Governing the Prevention of Vector-Borne Diseases.
3. The WCHD has no objections to the approval of this Special Use Permit as proposed.

If you have any questions or would like clarification regarding the foregoing, please contact Wes Rubio, Senior Environmental Health Specialist at wrubio@washoecounty.us regarding all Health District comments.

Sincerely,



Bob Sack, Division Director
Environmental Health Services Division
Washoe County Health District

BS:wr

Cc: File - Washoe County Health District

From: Macaluso, Tony Sent: Thu 11/03/2016 3:49 PM
To: Pelham, Roger; Webb, Bob
Cc: Sack, Bob; Peterson, Christopher A.; Rubio, Wesley S; English, James; Macaluso, Tony
Subject: TMFPD Station 14* APN 044-300-19 Special Use Permit; SB16-010

Message: SB16-010_HEALTH_conditions.pdf (67 KB)

Roger,

In regards to the above SUP, I have attached the WCHD letter of conditions.
In regards to the PHIR:

SW.2.12 Proposals for special use permits to establish a non-residential uses in a residential regulatory zone will be subject to a Public Health Impact Review (PHIR), to be conducted jointly by Community Development staff and Washoe County District Health Department staff. The specific content and methodology of the PHIR will be determined by the Washoe County District Health Department with the cooperation of the Washoe County Community Development Department on a case-by-case basis.

The WCHD reviewed and approves Special Use Permit SB16-010; the project should have no impact upon public health if proposed construction complies with the most current WCHD regulations at the time of construction.

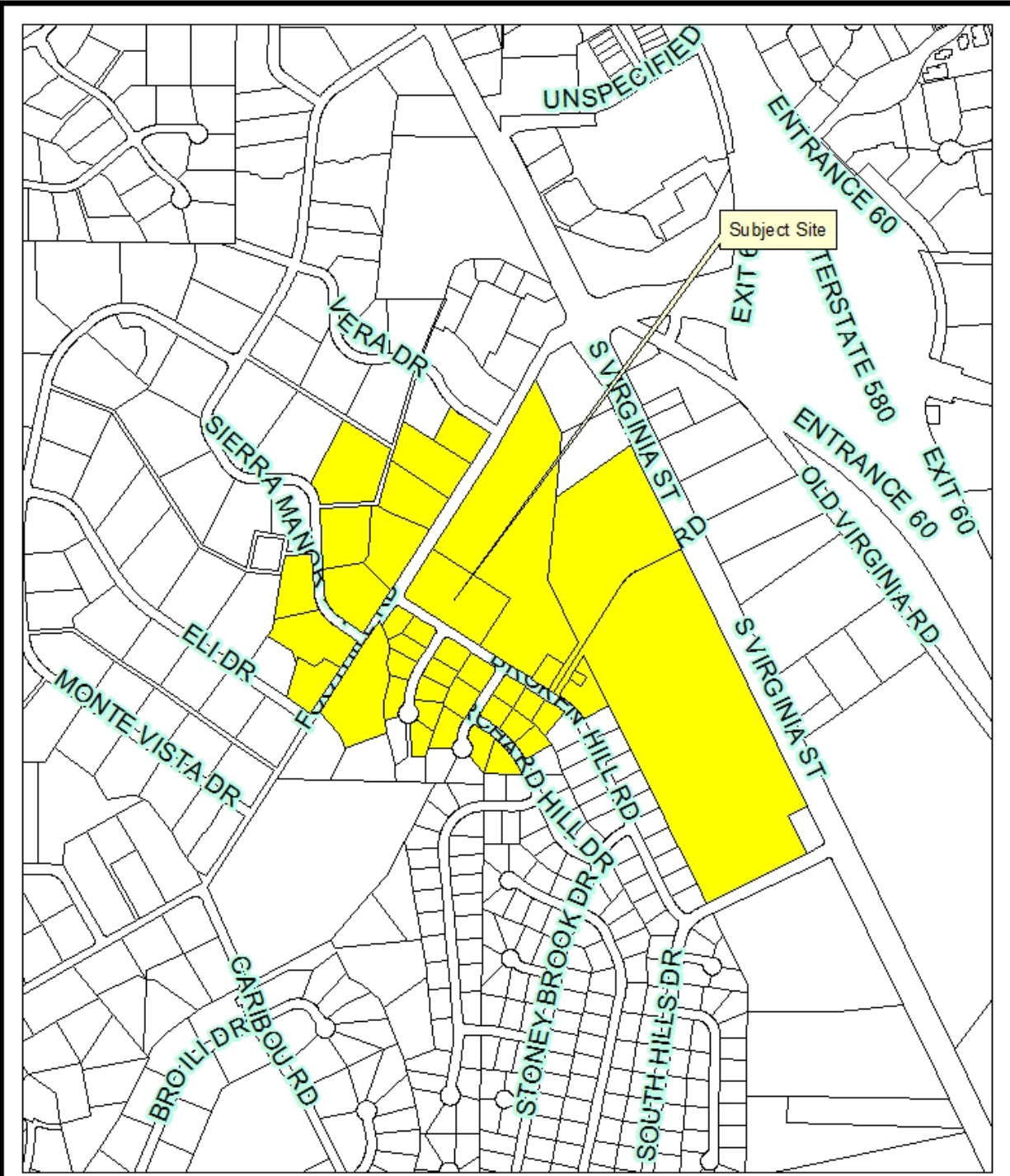
If you have questions or need further clarification please contact me.

Thanks,

Tony

Tony Macaluso, REHS
Supervisor | Environmental Health | Washoe County Health District
tmacaluso@washoecounty.us | O: (775) 328-2431 | 1001 E. Ninth St., Bldg. B, Reno, NV 89512





Mailing Label Map
 Special Use Permit Case Number SB16-010
 Truckee Meadows Fire Protection District Station Number 14
 39 Parcels selected at 500 feet.



Community Services
 Department
 Planning and
 Development Division
 WASHOE COUNTY
 NEVADA
 Post Office Box 11120
 Reno, Nevada 89520
 (775) 335-3600

Source: Planning and Development Division

Date: August 2016

SB16-010 Exhibit F

1150 CORPORATE BLVD.
RENO, NV 89502
775.856.1150
CFARENO.COM



TMFPD STATION #14
SPECIAL USE PERMIT SUBMITTAL

OCTOBER 17, 2016



**SUBMITTED IN
PARTNERSHIP
WITH:**

TSK ARCHITECTS



**SB16-010
EXHIBIT F**



TMFPD FIRE STATION #14

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TMFPD FIRE STATION #14

Appendices

Washoe County Development Application A

Maps

Building Elevations (2 sheets) Map Pocket
Tower Elevation Map Pocket
Title Sheet (T1.0) Map Pocket
Site-Utility Plan (C1.0) Map Pocket
Grading Plan (C2.0) Map Pocket
Cross Sections (C2.1) Map Pocket
Landscape Plan (L1.1) Map Pocket
Lighting Plan (E2.02)..... Map Pocket



TMFPD FIRE STATION #14

Project Request

This application is a request for a special use permit for development of a new fire station located south of Foothill Road and east of Broken Hill Road. The project site is situated on a single parcel (APN 044-300-19) measuring 3 acres in size. The property is surrounded by vacant land to the east and south, single-family residential development to the west and large lot residential development to the north. The site is bounded by Foothill Road and Broken Hill Road on two sides and vacant land to the east and south. The parcel has a zoning designation of Medium Density Suburban (MDS) and a master plan designation of Suburban Residential (SR), and is within the Southwest Truckee Meadows Area Plan.

Truckee Meadows Fire Protection District (TMFPD) Station #14 currently resides at 12300 Old Virginia Road, and has for the past ±30 years. The existing site, which was once considered rural, is now surrounded on all sides by commercial and retail development. The proposed Fire Station #14 has been sited to provide a better location to respond to the volume and type of calls that are required to provide the needed service in southern Washoe County. This location serves the need for this region and its anticipated growth. This site has indirect access to Virginia Street (main north/south connector in Reno), and clear freeway access to U.S. 395/580, to aide in response times for emergency calls that are of a greater distance.

The new station will initially provide quarters for one fire crew, consisting of five members, and will be designed to accommodate two crews at full build out. The apparatus bay will house three large fire fighting vehicles and one extended cab 4x4 truck. At full build-out, the apparatus bays will accommodate four double depth pull through bays. Full build out of the fire station will be dependent on fire service needs and funding. The additional square footage will consist of 900 square feet for living quarters, 320 square feet for covered storage and the 340 square foot training tower. The timing of full build-out is not known, but is anticipated to take place within the next ten years.

This application package includes the following request:

- ❖ *A request to allow a Safety Service use in the MDS zoning district per Table 110.302.5.2 of the Washoe County Development Code.*

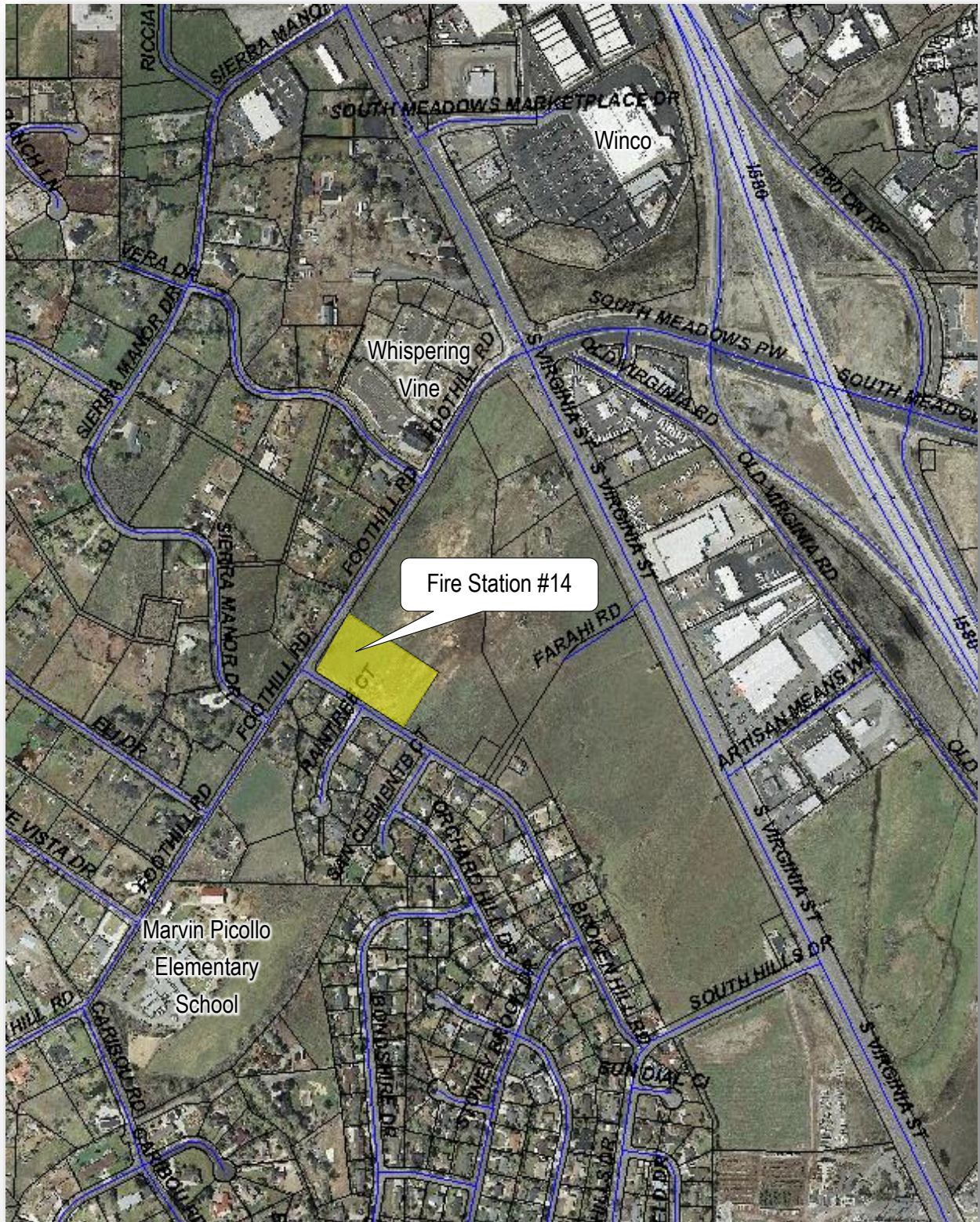
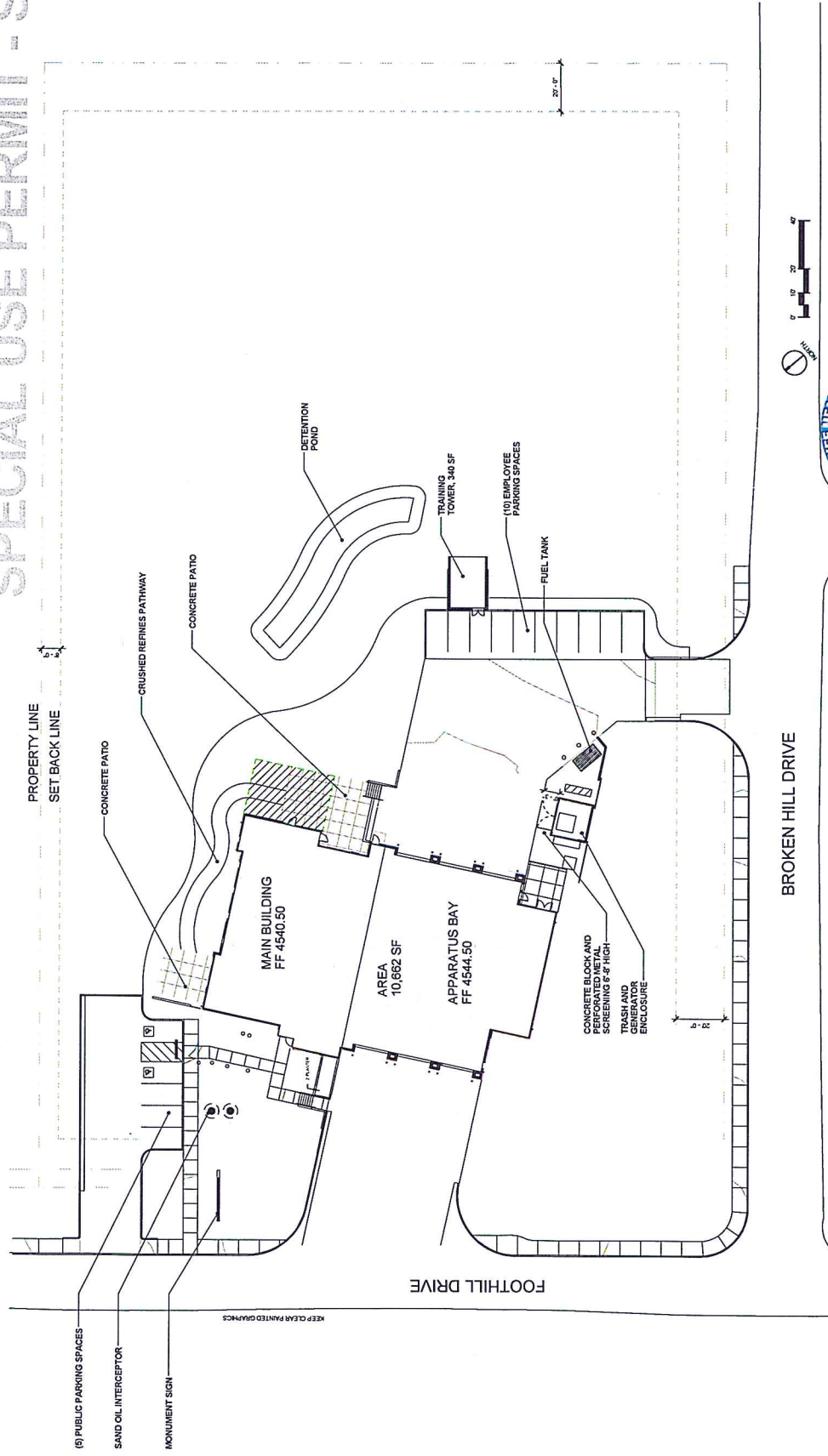


Figure 1 – Vicinity Map

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
SPECIAL USE PERMIT - SITE



STATION #14
FOOTHILL RD & BROKEN HILL RD.
10/17/10

BROKEN HILL DRIVE

FOOTHILL DRIVE

- (B) PUBLIC PARKING SPACES
- SAND OIL INTERCEPTOR
- MONUMENT SIGN





TMFPD FIRE STATION #14

Project Description

The total site is 3-acres in size, and the initial development is proposed over the northern 2.02 acres. The site has a gradual slope from northwest to southeast, which will influence the site design. Drainage for the site slopes to the southeast and will require a detention basin on the southern portion of the site. The apparatus bay emergency doors allow egress to Foothill Road, which serves as the primary east-west access for this area. Public parking will be located off of the eastern edge of the site on Foothill Road. Broken Hill will also be the return point of entry for incoming fire vehicles and firemen's personal vehicles. Access to the rear yard is not secured at this time. The proposed $\pm 10,662$ square foot building excludes future additions for 4 additional residential bedrooms as well as support services for the apparatus bay so bay #4 can be converted to a pull through bay.

Parking will be provided in two areas, one location for employees and a second parking lot for the public. Ten employee parking stalls will be located on the west side, with access off of Broken Hill Road. In addition, this area allows for a few public parking spaces will be provided for the occasional visitor or for employee overflow, when needed. The second parking lot will be for the public, with access off of Foothill Road. If a disabled employee utilizes this facility, they will use the ADA stall in the public parking lot, leaving one free ADA stall for public use. Additionally, an ADA route will be provided from the public sidewalk along Foothill Road into the public entry door.

Building Architecture

The new station is a single story structure to be built of durable concrete masonry methods with accents and details of prefinished metal panels, to define entrances and provide a sense of community. Roofs are of 3:12 slopes to also reflect the geometry of the neighborhood. Other materials include storefront glazing, accent stacked masonry walls, and box-rib corrugated metal siding. The exterior materials are both aesthetic and durable, and integrate well with the materials found in southern Washoe County and the existing context of the surrounding neighborhoods. The building architecture has been designed to create a public identity, as well as provide a private side for the firemen's living quarters.

The main entrance to the fire station is highly visible from Foothill Road and is protected by an entrance canopy. Within the entrance vestibule is an assessable restroom that patrons can use before entering the building. As the public enters the building there is a TMFPD feature wall and information counter. Above the feature wall is a dormer for letting daylighting in, creating a sense of a secure space. The Captain and Battalion Chief offices flank the public entrance so people entering the building will be attended to immediately. The residential corridor has two direct connections to the apparatus bay for efficient flow during emergency calls. At the transition and end of the corridor are views to the exterior, also allowing for daylighting into the circulation space.

The apparatus bay north sectional doors have full vision glazing that allow for visibility of the apparatuses from Foothill Road and to supply the apparatus bay with plenty of north daylighting. The south access has



TMFPD FIRE STATION #14

garage doors with two of the panels being glazed. Being a deep double bay station, a clerestory is provided that runs the length of bays to allow for daylight penetrating evenly.

A 34-foot tall training tower with three landings will be located on the southern side of the site and used for training purposes, with the top landing platform being constructed for rappelling. The tower is unconditioned and open air with operable screen wire meshed openings to keep out birds and/or large pests.

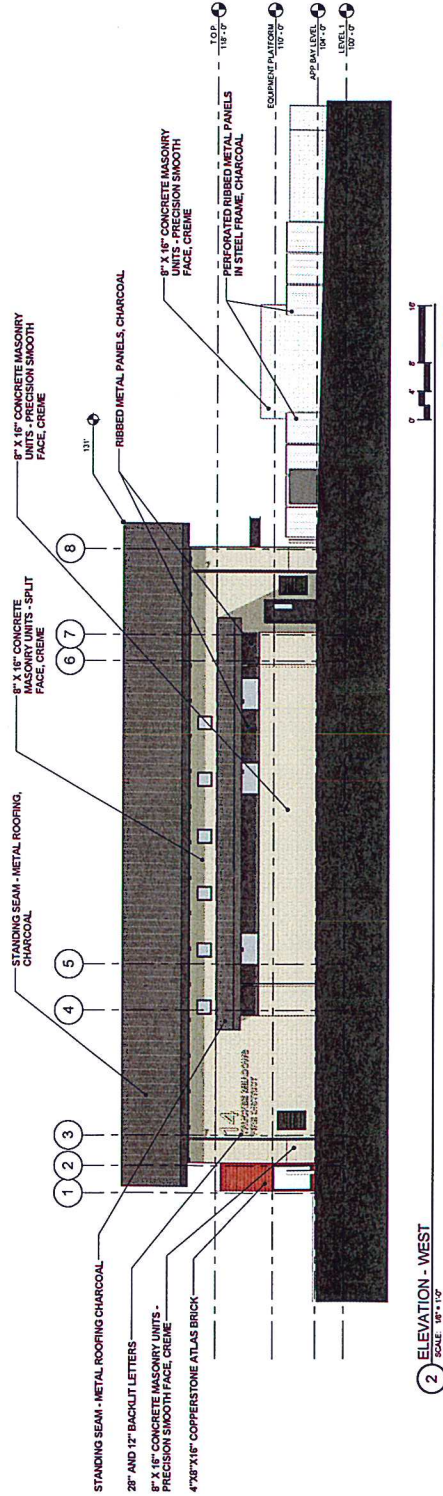
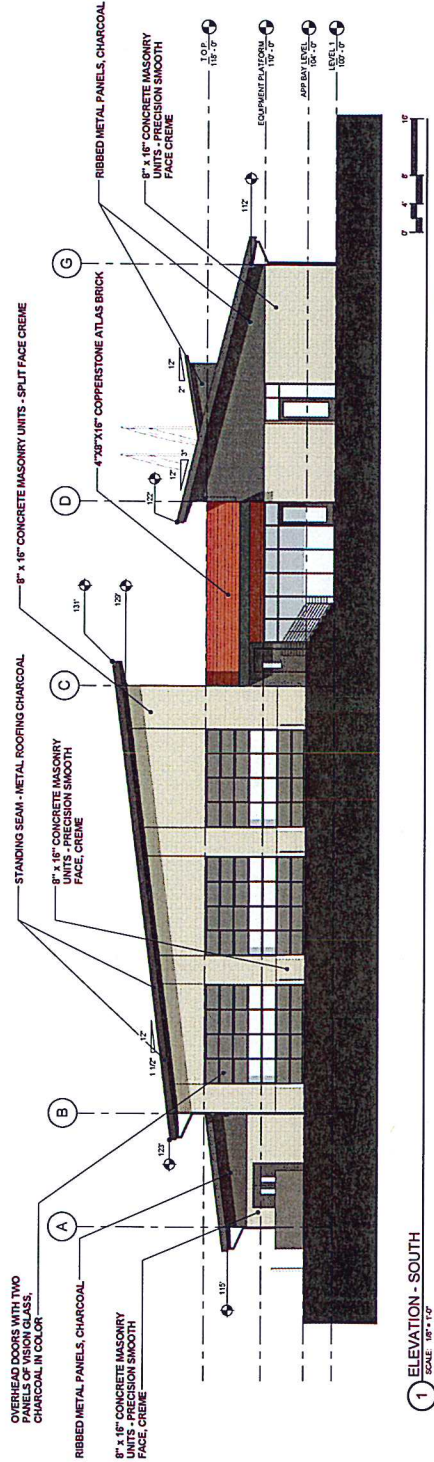
Lighting

A photometric plan is provided in the map appendices. Pole lighting will be limited to 12-foot tall and shielded, in accordance with "dark sky lighting" requirements.

Trash Enclosure

The screened trash/generator enclosure will be located on the southwest side of the building, approximately 20 feet from the apparatus bay. The trash enclosure walls will house two (2) 96-gallon trash and one (1) 96-gallon recycling totes (total of three 96-gallon totes). It is assumed that the trash enclosure walls will be approximately 8 feet high and include access through a 6-foot screened gate located on the east side at the concrete apron. The adjacent enclosure will house a 1000 gallon (750/250 Desil/Gas) refueling station. It is assumed that the trash enclosure walls will be approximately 6 feet high. Waste Management will access the site off of Broken Hill Road for service. TMFPD personnel will roll the bins curbside for pick up off of Broken Hill Road. The trash enclosure will be used for typical office waste supplies such as paper and plastic materials, food waste generated during kitchen meal preparation, as well as other basic everyday items used at the fire station while fire personnel are housed at the facility.

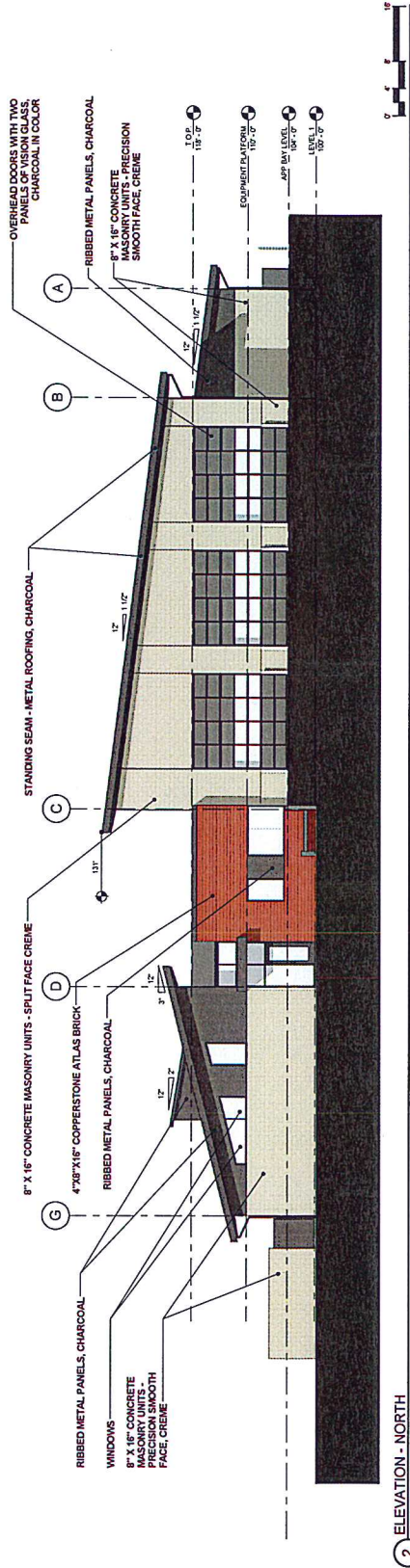
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



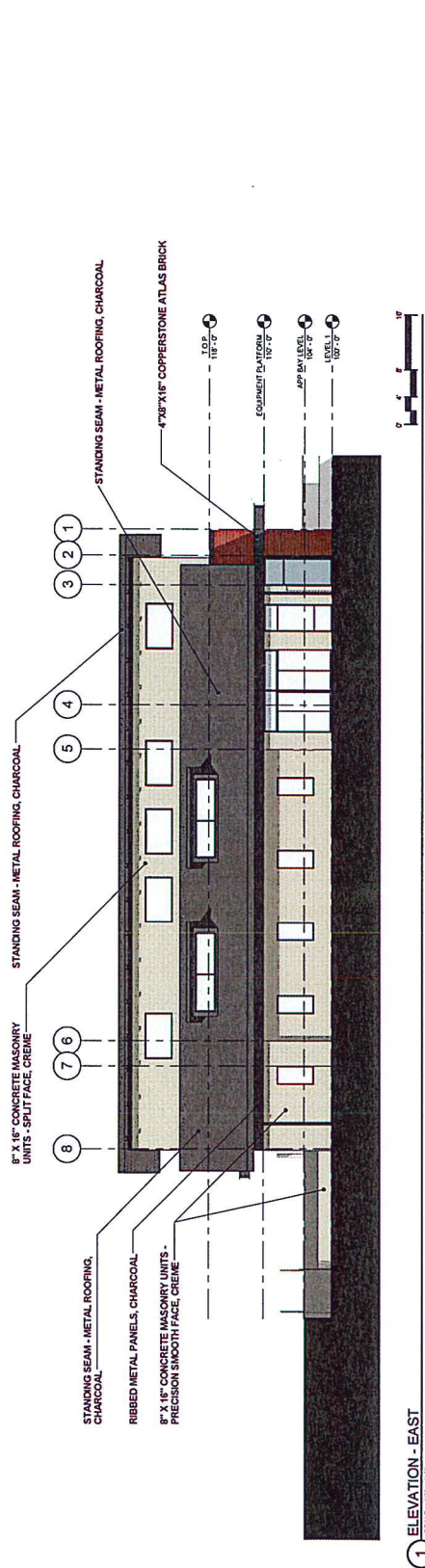
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STATION #14
FOOTHILL RD & BROKEN HILL RD.
10/17/16

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



2 ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



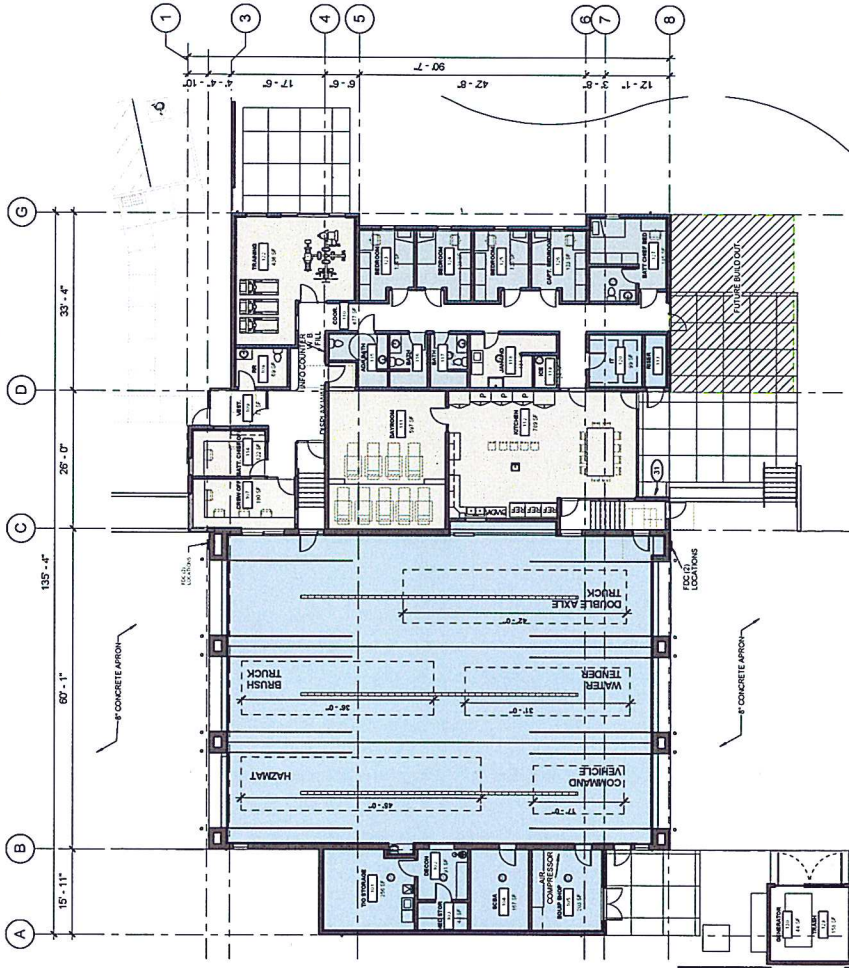
1 ELEVATION - EAST
SCALE: 1/8" = 1'-0"



STATION #14
FOOTHILL RD & BROKEN HILL RD.
10.07.10



TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
 SPECIAL USE PERMIT - FIRST FLOOR



- OFFICE SPACES
- LIVING SPACES
- APPARATUS BAY
- CIRCULATION SPACES



STATION #14
 FOOTHILL RD & BROKEN HILL RD.
 TRUCKEE, NV

tsk



TMFPD FIRE STATION #14

Landscape

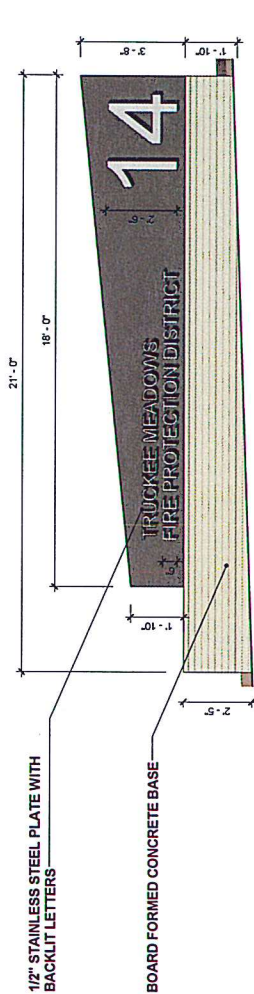
Twenty percent of the developed site is required to be landscaped. The proposed developed project area consists of $\pm 98,010$ square feet, resulting in $\pm 17,598$ square feet of required landscaping. Landscaping will primarily be drought tolerant plantings. A limited amount of turf will be provided on the west side of the building. The recommended turf is a blend of Kentucky bluegrass that is a drought-tolerant blend with rich color and high disease resistance. The Kentucky bluegrass is a self-repairing turf that allows for wear recovery and endurance.

Trees will be planted on the north and west sides at approximately 50' on center. Proposed species of trees will be Marshall's Seedless Ash, Honey Locust, with smaller accent trees of Choke Cherry, Redbud, and fruit tree varieties. Evergreens to be proposed will be Austrian Pine, Incense Cedar, and Juniper. There will also be a mix of shrubs and perennials. Native shrubs, grass, wildflower, and native seed grasses will also be provided. Detention basins will be seeded with native grasses. Rock mulch will be provided in specific areas. A number of areas will receive decomposed granite mulch (DG) ground cover, particularly along the western and eastern edges of the developed site.

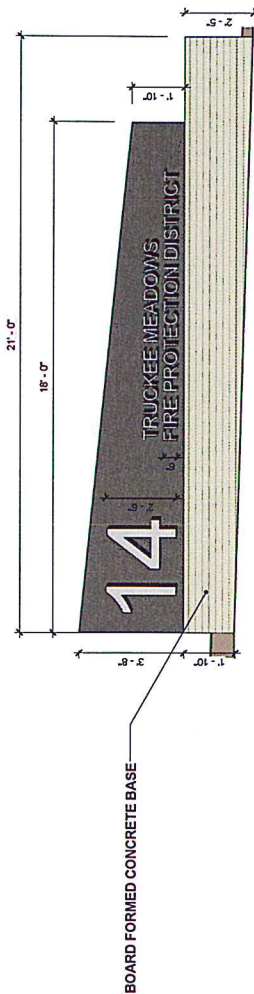
Signage

Signage for the project will comply with Washoe County standards. Signage will be complimentary to the architectural style of the building and will be oriented toward Foothill Road.

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
 SPECIAL USE PERMIT - MONUMENT SIGN



2 MONUMENT SIGN ELEVATION - FRONT
 SCALE 1/2" = 1'-0"



1 MONUMENT SIGN ELEVATION - BACK
 SCALE 1/2" = 1'-0"



STATION #14
 FOOTHILL RD & BROKEN HILL RD.
 10/27/16





TMFPD FIRE STATION #14

Infrastructure

Sanitary sewer will be provided by Washoe County. A proposed 6-inch sewer lateral will serve the fire station. The lateral will connect to the existing 10-inch sanitary sewer main in Foothill Road, beneath the proposed public parking driveway. The 6-inch lateral will extend south and will terminate with installation of a cleanout southeast of the proposed public parking lot.

Truckee Meadows Water Authority (TMWA) will be the water purveyor for the project. An existing 12-inch transite water line is located on the west side of Broken Hill Road. All water line services for the project will be serviced from this main line. A 3-inch domestic water line is proposed to serve the fire station with a 4-inch meter and backflow preventer and will service the property from the south side of the building.

Storm water peak runoff flows will be routed through an on-site storm drain system from the proposed roof drains and catch basins around the entire base the building to capture excess storm water runoff. There will also be on-site drainage swales graded along the site to capture excess runoff. The excess runoff will be collected in an on-site detention basin located to the south-east of the site. The basin will detain the storm water runoff flow and allow flow to exit through the storm drain outlet structure. The outlet structure has been designed to discharge the detained flows to the drainage channel south of the site at a controlled rate designed to limit the overall site discharge to the existing undeveloped levels. Because the excess flows will be detained prior to release, the system will provide a storage safety factor benefit to the existing public storm water drainage system, as well as providing a technique to pre-treat the storm water and enhance total suspended solids removal prior to releasing it into the public storm channel system, resulting in improved water quality. Therefore, the site can be developed as planned with respect to storm water drainage without adverse impact to adjacent or downstream properties or public storm drain facilities.

The outlet of the detention basin, and all other incidental site storm water flows will discharge into an existing channel traversing the southern portion of the parcel. There is an existing 15-foot wide storm drainage easement that will remain in place which serves both this parcel as well as flows from Broken Hill Road through an existing culvert.



View from Broken Hill Road facing east.



View from Foothill Road facing south.

Figure 9 - Site Photographs

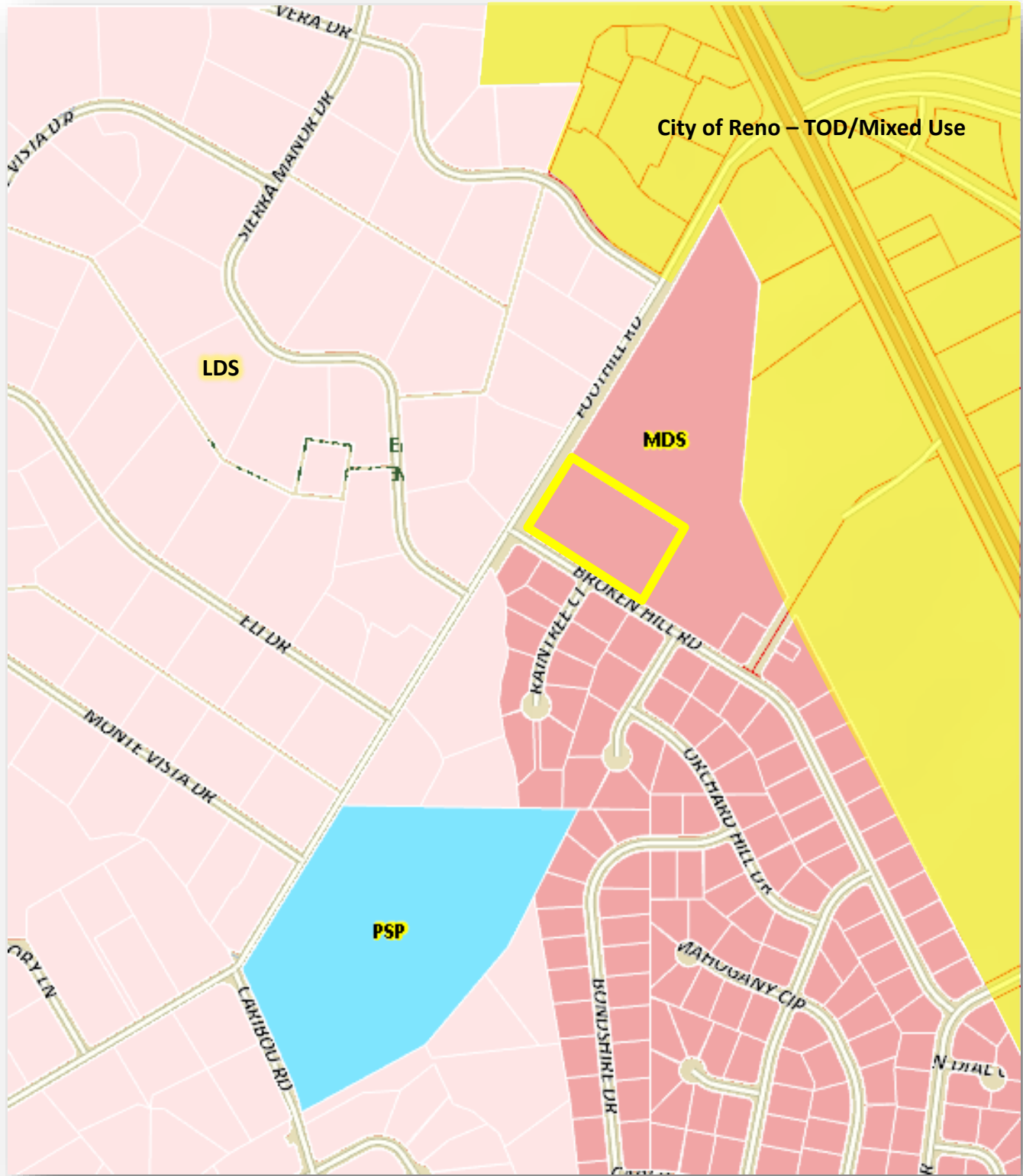


Figure 10 - Zoning Map



Special Use Permit Findings

Prior to approving an application for a special use permit, the Planning Commission, Board of Adjustment or a hearing examiner shall find that all of the following are true:

(a) Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

The property is part of the Southwest Truckee Meadows Area Plan. The proposed special use permit is consistent with the following Southwest Truckee Meadows Area Plan policies:

SW.2.5 Any lighting proposed must show how it is consistent with current best practice “dark-sky” standards. In subdivisions established after the date of final adoption of this plan the use of streetlights will be minimized.

SW.2.6 Street lights, security lights, and other outdoor lighting should be powered by solar or other renewable energy sources whenever possible.

SW.2.8 All landscape designs will emphasize the use of native vegetation, with non- native and atypical vegetation integrated sparingly into any landscaped area.

SW.10.3 The granting of special use permits in the SWTM planning area must be accompanied by a finding that no significant degradation of air quality will occur as a result of the permit. As necessary, conditions may be placed on special use permits to ensure no significant degradation of air quality will occur. The Department of Community Development will seek the advice and input of the Air Quality Division of the Department of Health in the implementation of this policy.

SW.11.1 Development proposals, with the exception of single family homes and uses accessory to single family homes, within the Southwest Truckee Meadows planning area will include detailed soils and geo-technical studies sufficient to:

- a. Ensure structural integrity of roads and buildings.
- b. Provide adequate setbacks from potentially active faults or other hazards.
- c. Minimize erosion potential.

SW.20.1 In order for the Washoe County Planning Commission to recommend the approval of ANY amendment to the SWTM Area Plan, the following findings must be made:

- a. The amendment will further implement and preserve the Vision and Character Statement.
- b. The amendment conforms to all applicable policies of the SWTM Area Plan and the Washoe County Master Plan, and the Regional Water Management Plan.
- c. The amendment will not conflict with the public’s health, safety or welfare.



TMFPD FIRE STATION #14

(b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Sanitary sewer will be provided by Washoe County. A proposed 6-inch sewer lateral will serve the fire station. The lateral will connect to the existing 10-inch sanitary sewer main in Foothill Road, beneath the proposed public parking driveway. The 6-inch lateral will extend south and will terminate with installation of a cleanout southeast of the proposed public parking lot.

Truckee Meadows Water Authority (TMWA) will be the water purveyor for the project. An existing 12-inch transite water line is located on the west side of Broken Hill Road. All water line services for the project will be serviced from this main line. A 3-inch domestic water line is proposed to serve the fire station with a 4-inch meter and backflow preventer and will service the property from the south side of the building.

Storm water peak runoff flows will be routed through an on-site storm drain system from the proposed roof drains and catch basins around the entire base the building to capture excess storm water runoff. There will also be on-site drainage swales graded along the site to capture excess runoff. The excess runoff will be collected in an on-site detention basin located to the south-east of the site. The basin will detain the storm water runoff flow and allow flow to exit through the storm drain outlet structure. The outlet structure has been designed to discharge the detained flows to the drainage channel south of the site at a controlled rate designed to limit the overall site discharge to the existing undeveloped levels. Because the excess flows will be detained prior to release, the system will provide a storage safety factor benefit to the existing public storm water drainage system, as well as providing a technique to pre-treat the storm water and enhance total suspended solids removal prior to releasing it into the public storm channel system, resulting in improved water quality. Therefore, the site can be developed as planned with respect to storm water drainage without adverse impact to adjacent or downstream properties or public storm drain facilities.

The outlet of the detention basin, and all other incidental site storm water flows will discharge into an existing channel traversing the southern portion of the parcel. There is an existing 15-foot wide storm drainage easement that will remain in place which serves both this parcel as well as flows from Broken Hill Road through an existing culvert.

(c) Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

Truckee Meadows Fire Protection District (TMFPD) Station #14 currently resides at 12300 Old Virginia Road, and has for the past ±30 years. The existing site, which was once considered rural, is now surrounded on all sides by commercial and retail development. The proposed Fire Station #14 has been sited to provide a better location to respond to the volume and type of calls that are required to provide the



TMFPD FIRE STATION #14

needed service in southern Washoe County. This location serves the need for this region and its anticipated growth. This site has indirect access to Virginia Street (main north/south connector in Reno), and clear freeway access to U.S. 395/580, to aide in response times for emergency calls that are of a greater distance.

The property is surrounded by residential development to the north and west and by vacant land to the east and south. Fire trucks will leave the apparatus bay from Foothill Road. Upon returning, the trucks will access the site off of Broken Hill Road. Foothill Road will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing.

(d) Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

The proposed use as a fire station is needed to keep up with the community's growth and need for adequate fire response times. Foothill Road is designated as a Collector roadway and has capacity to handle the additional traffic, which will be limited. Fire trucks will exit the apparatus bay onto Foothill Road, and will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing. Fire trucks will enter the fire station off of Broken Hill Road. The proposed project is not anticipated to have any detrimental impacts to the public, health, safety or welfare. The proposed project will serve as a community amenity that will provide fire protection to south Washoe County.

(e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

There are no known military installations in the vicinity of the site. The proposed request will not affect the location, purpose and mission of the military installation.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Truckee Meadows Fire Protection District Fire Station #14 Special Use Permit			
Project Description: Request for a Special Use Permit to allow a safety service use (fire station) to be developed in the MDS zoning district.			
Project Address: Southeast corner of Foothill Road and Broken Hill Road.			
Project Area (acres or square feet): 3 acres			
Project Location (with point of reference to major cross streets AND area locator): Southeast corner of Foothill Road and Broken Hill Road.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
044-300-19	3 acres		
Section(s)/Township/Range: Section 8 T18 R20			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Truckee Meadows Fire Protection District		Name: CFA	
Address: PO Box 11130		Address: 1150 Corporate Blvd.	
Reno, NV	Zip: 89520	Reno, NV	Zip: 89502
Phone: 328-6123	Fax:	Phone: 856-1150	Fax: 856-1160
Email: cmoore@tmfpd.us		Email: afuss@cfareno.com	
Cell: 313-8903	Other:	Cell: 741-9563	Other:
Contact Person: Chief Moore		Contact Person: Angela Fuss	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Washoe County		Name:	
Address: 1001 E. 9th Street, Bldg. A		Address:	
Reno, NV	Zip: 89520		Zip:
Phone: 328-3636	Fax:	Phone:	Fax:
Email: wwardell@washoecounty.us		Email:	
Cell: 750-7325	Other:	Cell:	Other:
Contact Person: Bill Wardell		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Truckee Meadows Fire Protection District

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, CHARLES A. MOORE, FIRECHIEF (please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 044-300-19

Printed Name CHARLES A. MOORE

Signed [Signature]

Address 1001 E. 9th Street
Reno, NV 89512

Subscribed and sworn to before me this 4th day of April, 2016.

(Notary Stamp)

Washoe County - Nevada
Notary Public in and for said county and state

My commission expires: Dec. 13, 2017



*Owner refers to the following: (Please mark appropriate box.)

- Owner (checked)
Corporate Officer/Partner
Power of Attorney
Owner Agent
Property Agent
Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

This application is a request for a special use permit to allow a safety service use (i.e. Fire Station) in the MDS zoning district per 110.302.5.5 of the Washoe County Development Code.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

The 3-acre site is currently undeveloped. The northern 2 acres of the site will be developed with a fire station.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

The proposed fire station measures 10,662 square feet in size and includes firemen living quarters, apparatus bay, training tower, parking and landscaping. The project will tie to the 10" sewer line in Foothill Road and a 12" water line in Broken Hill Road. Two separate parking areas will provide 10 spaces for firemen and 5 spaces for the public. A sign will be located facing Foothill Road. The project is anticipated to begin construction in early 2017. Final build-out is dependant on need and funding and is anticipated to be completed within 10 years.

4. What is the intended phasing schedule for the construction and completion of the project?

Construction is anticipated to begin in March of 2017 and substantially completed by January 1, 2018.
An additional living quarters for a second 5 man crew, is dependant on fire service need and funding.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Foothill Road is designated a Collector roadway and has capacity for development. Traffic is anticipated to be low with the proposed use. Station #14 was sited to provide a better location to respond to the volume and type of calls that are required to provide the needed service in southern Washoe County. This site has indirect access to Virginia Street (main north/south connector in Reno), and clear freeway access to US 395/580 to aide in response times for emergency calls that are of a greater distance. The property is vacant on the eastern and southern sides.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Development of a fire station at this location will serve the fire service needs for this region and its anticipated growth, in particular, the southern Washoe County area.

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

Foothill Road will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing. Fire trucks will leave the apparatus bay from Foothill Road. Upon returning, the trucks will access the site off of Broken Hill Road. Sidewalks on Foothill Road and Broken Hill Road will be constructed for enhanced pedestrian safety in the area. Landscaping will also be added to buffer between existing residences to the north and west and the proposed building.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

Special care and thought has gone into the the design with respect to access, buffering, landscaping and pedestrian safety. Foothill Road will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing. Fire trucks will leave the apparatus bay from Foothill Road. Upon returning, the trucks will access the site off of Broken Hill Road. Sidewalks on Foothill Road and Broken Hill Road will be constructed for enhanced pedestrian safety in the area. Landscaping will also be added to buffer between existing residences to the north and west and the proposed building.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

The project provides for a total of 15 parking stalls. Ten stalls will be located on the western side, for firemen's personal vehicles and to serve as an overflow parking lot for the public. Five parking stalls are located on the north side, near the public entrance. All of the proposed parking is provided on-site.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Twenty percent of the developed site is required to be landscaped. The proposed developed project area consists of ±98,010 square feet, resulting in ±17,598 square feet of required landscaping, including 35 trees. Landscaping will primarily be drought tolerant plantings. A limited amount of turf will be provided on the west side of the building. Trees will be planted on the north and west sides at approximately 50' on center. Proposed species of trees will be Marshall's Seedless Ash, Honey Locust, with smaller accent trees of Choke Cherry, Redbud, and fruit tree varieties. Evergreens to be proposed will be Austrian Pine, Incense Cedar, and Juniper. There will also be a mix of shrubs and perennials. Native shrubs, grass, wildflower, and native seed grasses will also be provided. Detention basins will be seeded with native grasses. Rock mulch will be provided in specific areas. A number of areas will receive decomposed granite mulch (DG) ground cover, particularly along the western and eastern edges of the developed site.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

A photometric plan has been provided. Pole mounted lighting will be limited to 12' tall, shielded and pointing downward. Signage will consist of board formed concrete base with 1/2" stainless steel plate with backlit letters.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	----------------------------------------

13. Community Sewer

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
-----------------------------------------	-----------------------------

Community Water

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
-----------------------------------------	-----------------------------

Washoe County Treasurer
Tammi Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Account Detail

[Back to Search Results](#) [Change of Address](#) [Print this Page](#)

Washoe County Parcel Information		
Parcel ID	Status	Last Update
04430019	Active	10/14/2016 7:24:27 AM
Current Owner: TRUCKEE MEADOWS FIRE PROTECTION DIST PO BOX 11130 RENO, NV 89520		SITUS: 0 FOOTHILL RD WASHOE COUNTY NV
Taxing District 4000	Geo CD:	
Legal Description		
Township 18 Section 8 Lot A Block Range 20 SubdivisionName _UNSPECIFIED		

Tax Bill (Click on desired tax year for due dates and further details)					
Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2016	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total					\$0.00

- Important Payment Information**
- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
 - For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Pay Online
No payment due for this account.

\$0.00

Pay By Check
Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

Payment Information

Special Assessment District

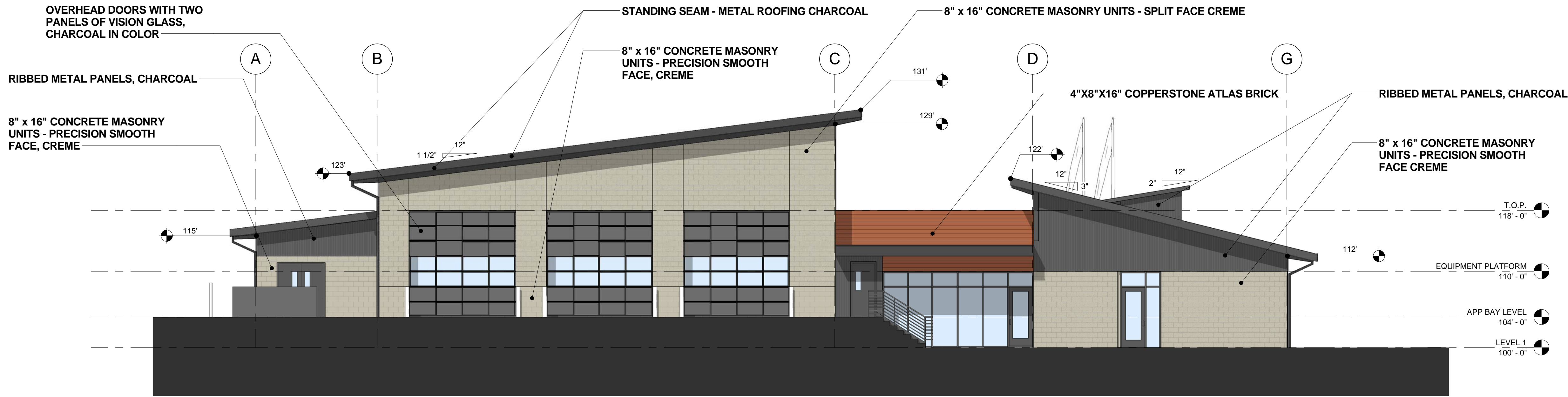
Installment Date Information

Assessment Information

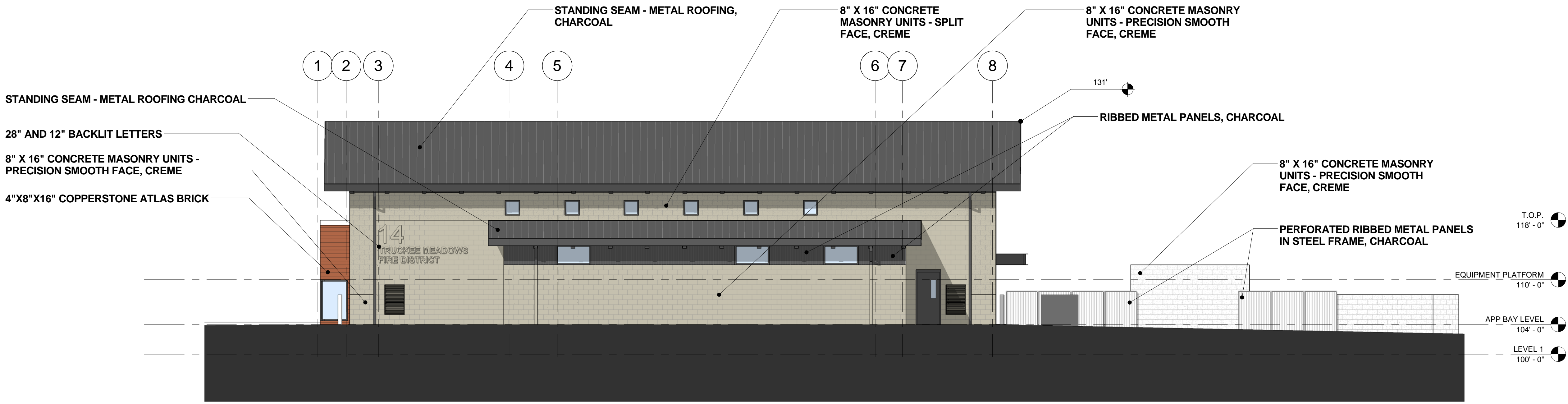
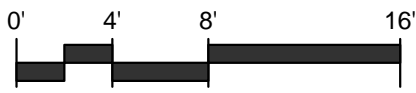
The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



1 ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



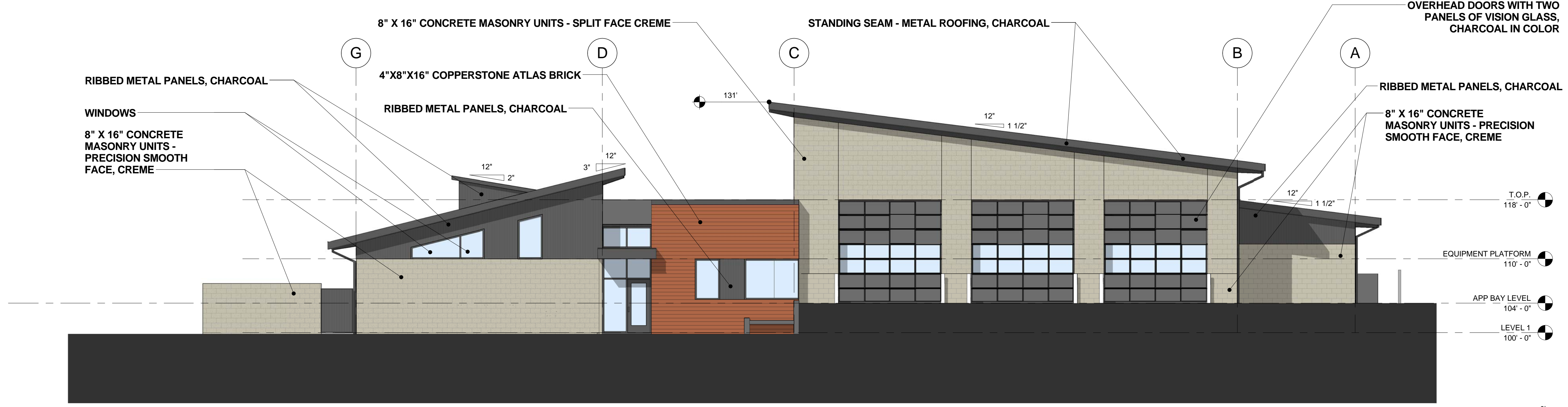
2 ELEVATION - WEST
SCALE: 1/8" = 1'-0"



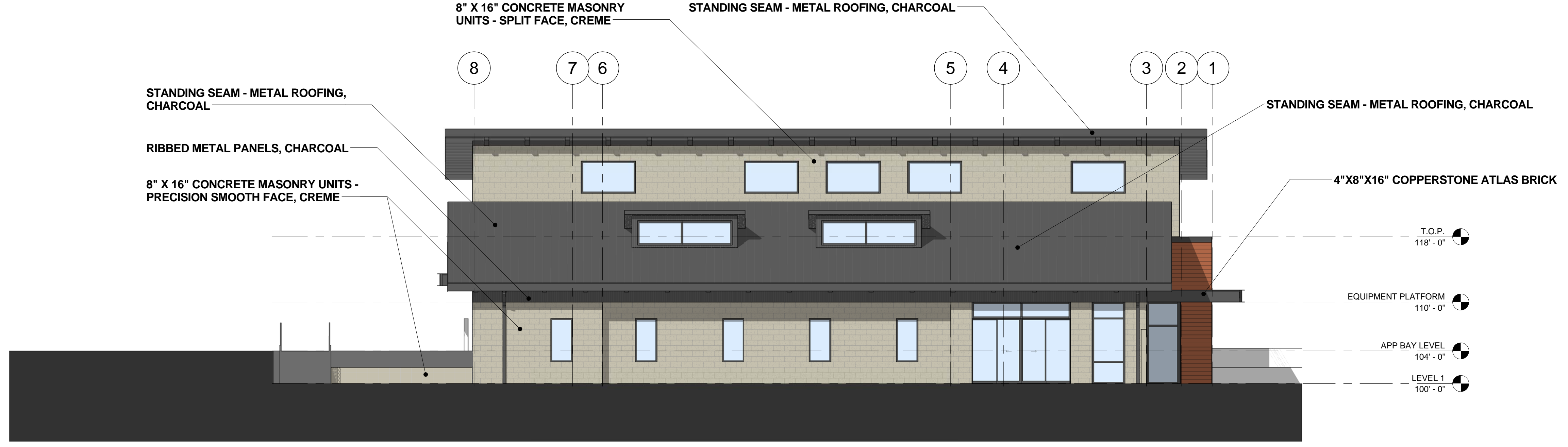
STATION #14
FOOTHILL RD & BROKEN HILL RD.

10/17/16

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



2 ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

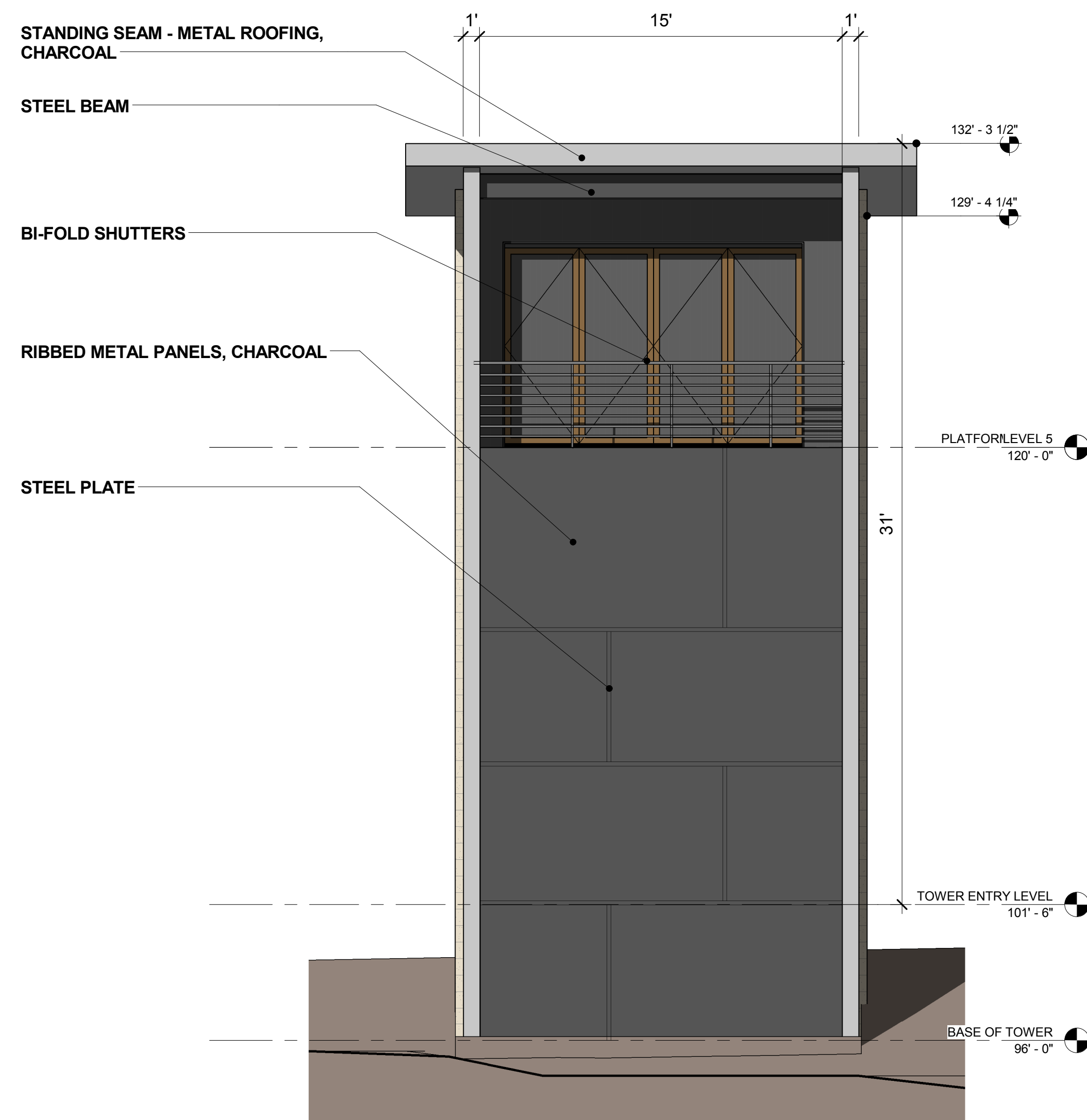


1 ELEVATION - EAST
SCALE: 1/8" = 1'-0"

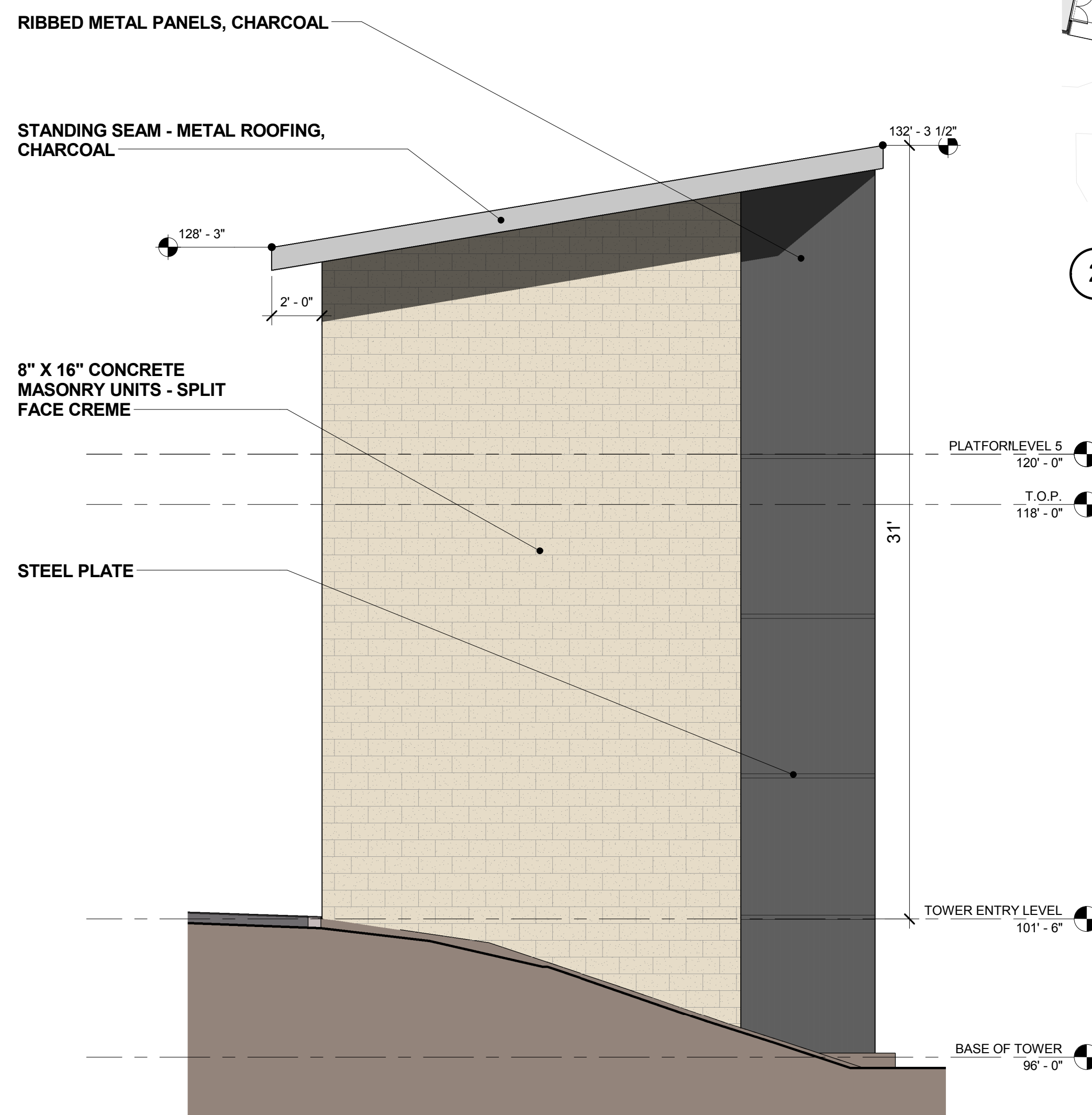


STATION #14
FOOTHILL RD & BROKEN HILL RD.
10/17/16

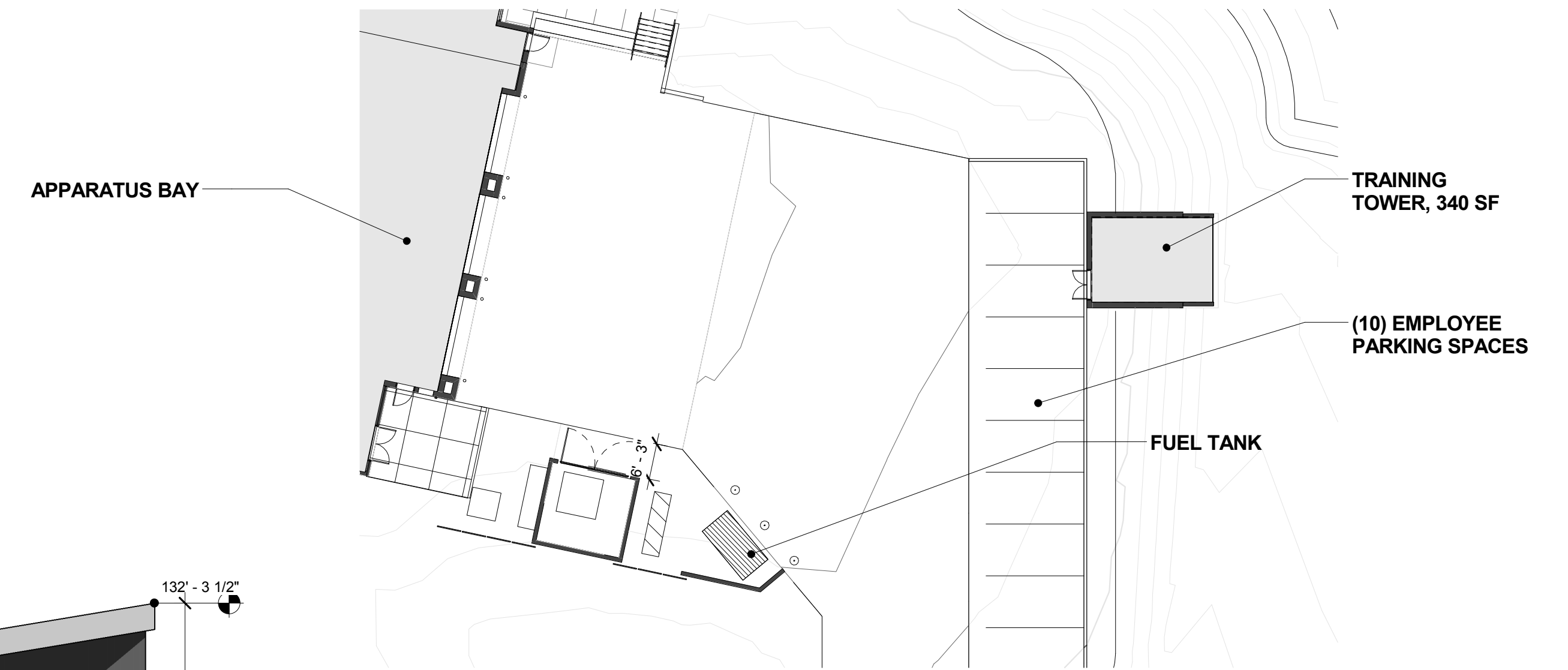
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT TRAINING TOWER



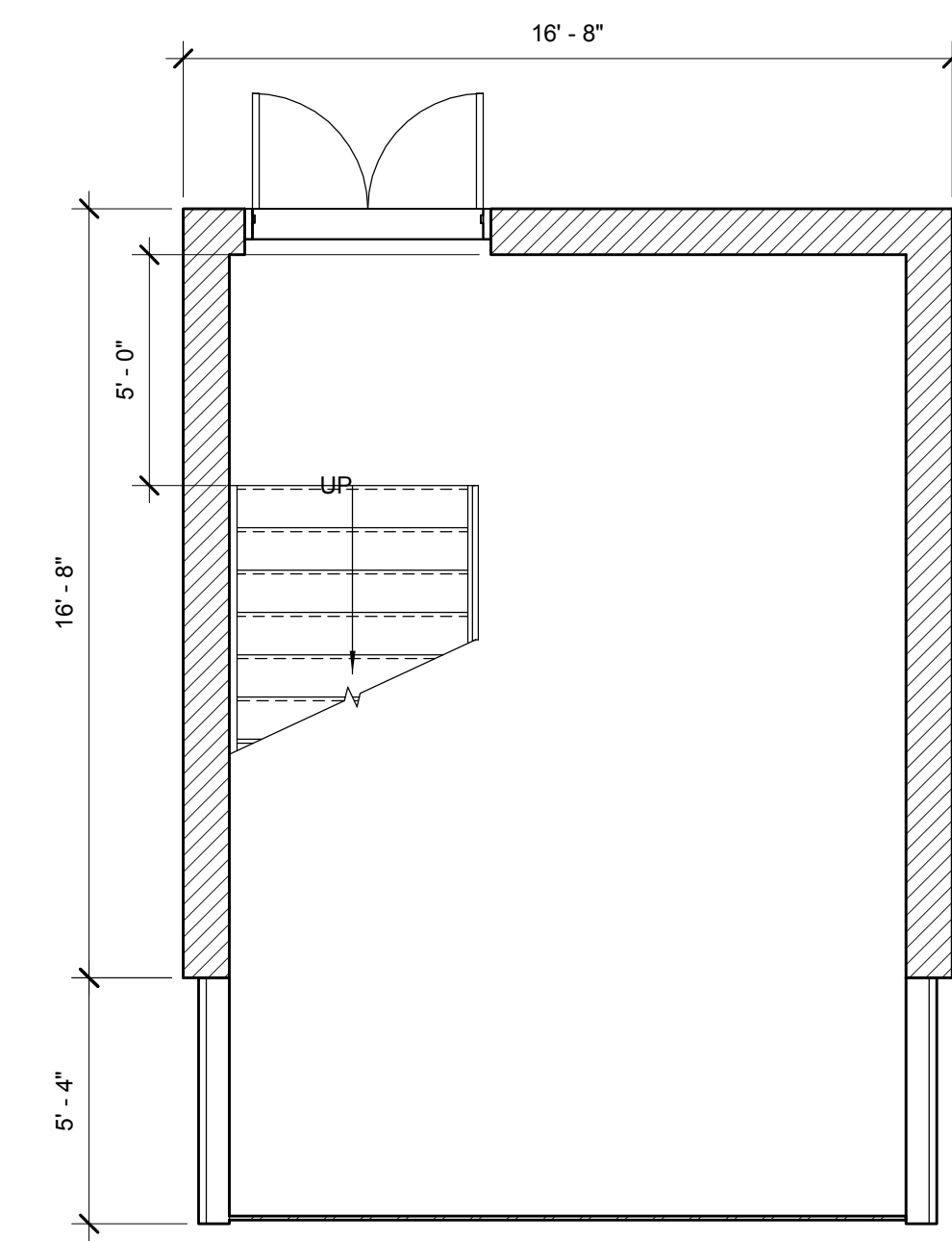
4 TRAINING TOWER SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 TRAINING TOWER WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SITE PLAN - TRAINING TOWER
SCALE: 1" = 20'-0"



1 TRAINING TOWER FLOOR PLAN - SUP
SCALE: 1/4" = 1'-0"



STATION #14
FOOTHILL RD & BROKEN HILL RD.

10/17/16

SPECIAL USE PERMIT APPLICATION

TMFPD - STATION 14

WASHOE COUNTY, NEVADA

APN: 044-300-10

OWNER DEVELOPER

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
1001 EAST 9TH STREET, BUILDING D - 2ND FLOOR
RENO, NV 89512
(775) 328-6123 PHONE
(775) 313-8903 MOBILE
EMAIL: WWARDELL@WASHOECOUNTY.NV.US
CONTACT: BILL WARDELL

CIVIL ENGINEER

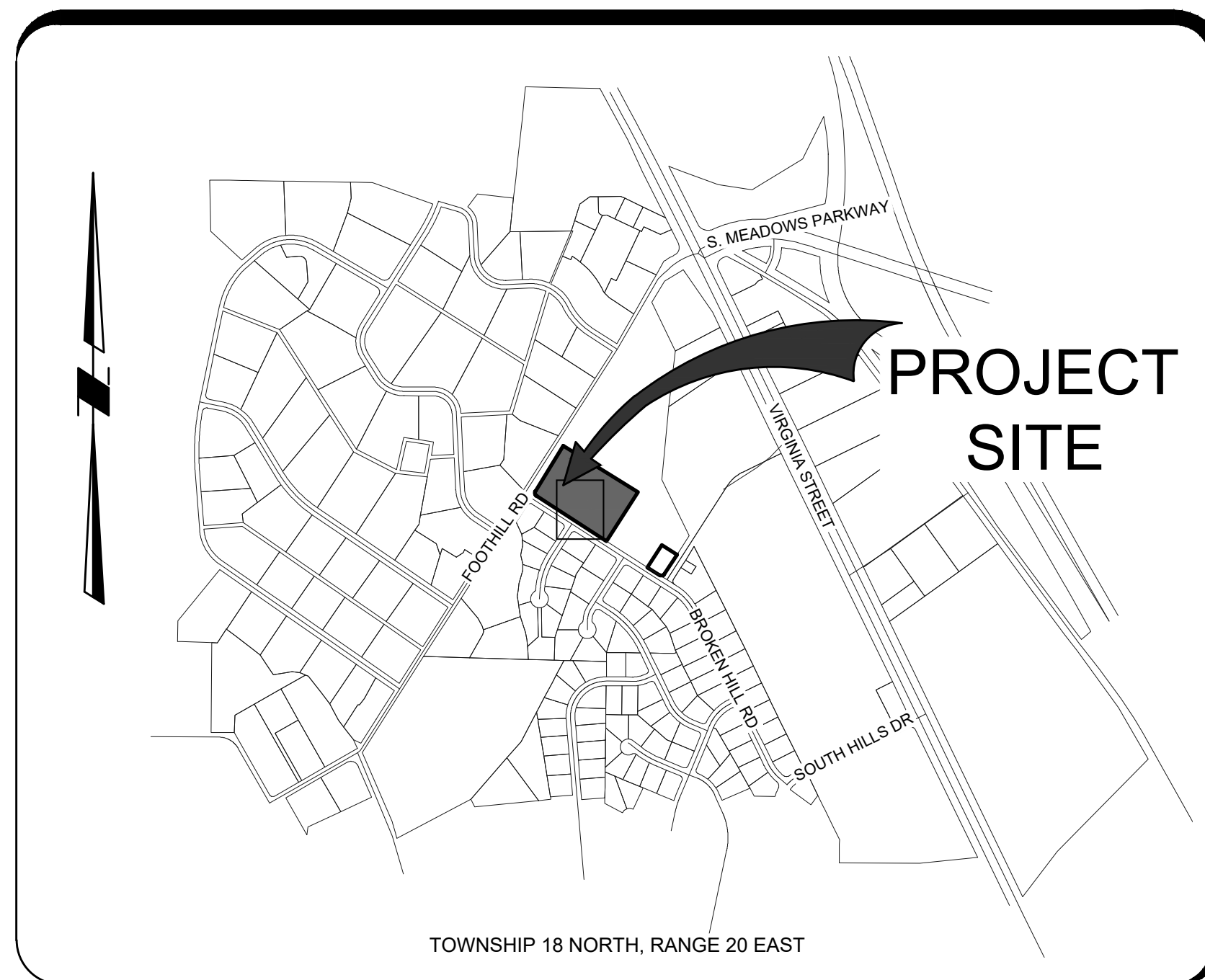
CFA, INC.
1150 CORPORATE BOULEVARD
RENO, NEVADA 89502
(775) 856-1150 PHONE
(775) 856-1160 FAX
EMAIL: LJOHNSON@CFARENO.COM
CONTACT: LONNIE JOHNSON, P.E.

PROJECT LOCATION

SOUTHEAST CORNER AT THE INTERSECTION OF
FOOTHILL ROAD AND BROKEN HILL ROAD
RENO, NV 89511
SECTION/TOWNSHIP/RANGE:
WITHIN SECTION 07, T18N, R20E, MDM

LANDSCAPE ARCHITECT

GREENDESIGN LANDSCAPE ARCHITECTURE INC.
1464 POPINJAY DRIVE
RENO, NEVADA 89509
(775) 501-9347 PHONE
EMAIL: BHATCH00@CHARTER.NET
CONTACT: BARBARA HATCH, R.L.A., A.S.L.A.



ABBREVIATIONS

AB ANCHOR BOLT	ENGR ENGINEER	PRC POINT OF REVERSE CURVE
ABAN ABANDONED	EQFT EQUIPMENT	PREFAB PREFABRICATED
ABC AGGREGATE BASE COURSE	EVC END OF VERTICAL CURVE	PROP PROPERTY
AC ASPHALT CONCRETE	EW EACH WAY	PSF POUNDS PER SQUARE FOOT
ADD ADDITIONAL	EXP JT EXPANSION JOINT	PSI POUNDS PER SQUARE INCH
ADJ ADJACENT	FDC FIRE DEPARTMENT CONNECTION	PT POINT OF TANGENCY
APPROX APPROXIMATE	FES FLARED END SECTION	PUE PUBLIC UTILITY EASEMENT
APPR APPROVED	FF FINISH FLOOR	PVC POLYVINYL CHLORIDE
ARCH ARCHITECTURAL	FFC FRONT FACE OF CURB	PI POINT OF VERTICAL INTERSECTION
ARV AIR RELEASE VALVE	FG FINISH GRADE	PMT PAVEMENT
BC BEGN CURVE	FH FIRE HYDRANT	QS FIVE YEAR FLOW RATE
BCR BEGN CURB RETURN	FIG FIGURE	Q100 ONE HUNDRED YEAR FLOW RATE
BF BLIND FLANGE	FLG FLANGE	QCAP FLOW RATE CAPACITY
BFC BACK FACE OF CURB	E FLOWLINE	R RADIUS
BFV BUTTERFLY VALVE	FNH FINISH	RCW RECLAIMED WATER
BLDG BUILDING	FPS FEET PER SECOND	RCB REINFORCED CONCRETE BOX CULVERT
BM BENCH MARK	FT FOOT or FEET	RCP REINFORCED CONCRETE PIPE
BOT BOTTOM	FTG FOOTING	RD ROAD
BVC BEGN VERTICAL CURVE	F DEGREE FAHRENHEIT	REF REFERENCE or REFER
CARV COMBINATION AIR RELEASE VALVE	G GAS	REINF REINFORCED
CATV CABLE TELEVISION	GAL GALLON	REQD REQUIRED
CB CATCH BASIN	GALV GALVANIZED	RT RIGHT
CFM CUBIC FEET PER MINUTE	GPD GALLONS PER DAY	RW or ROW RIGHT-OF-WAY
CFS CUBIC FEET PER SECOND	HORIZ HORIZONTAL	RWL RECLAIMED WATER LINE
CI CAST IRON	HP HORSEPOWER	SCH SCHEDULE
CJ CONSTRUCTION JOINT	ID INSIDE DIAMETER	SD STORM DRAIN
CL CENTERLINE	IE INVERT ELEVATION	SECT SECTION
CLF CHAIN LINK FENCE	IN INCH	SF SQUARE FOOT
CLR CLEAR	INV INVERT	SI SQUARE INCH
CMP CORRUGATED METAL PIPE	IRR IRRIGATION	SSE SANITARY SEWER EASEMENT
CMU CONCRETE MASONRY UNIT	JT JOINT	STA STATION
CO CLEANOUT	KW KILOWATT	SIM SIMILAR
COL COLUMN	L LENGTH	SPEC SPECIFICATIONS
CONC CONCRETE	LAT LATERAL	SQ SQUARE
CONN CONNECTION	LB POUNDS	SS SANITARY SEWER
CONT CONTINUOUS	LB/CU FT POUNDS PER CUBIC FOOT	STD STANDARD
COORD COORDINATE	LF LINEAR FEET	SW SIDEWALK
CTR CENTER	LONG LONGITUDINAL	SYMM SYMMETRICAL
CU CUBIC	LT LEFT	TAN TANGENT
CU FT CUBIC FEET	LT MAXIMUM	TB THRUST BLOCK
CU IN CUBIC INCH	MDD MAXIMUM DRY DENSITY	TC TOP OF CURB
CU YD CUBIC YARD	MECH MECHANICAL	TECH TECHNICAL
CULV CULVERT	MFR MANUFACTURER	TEL TELEPHONE
CV CHECK VALVE	MH MANHOLE	TEMP TEMPERATURE
DBL DOUBLE	MIN MINIMUM	TF TOP FACE
DCVA DOUBLE CHECK VALVE ASSEMBLY	MISC MISCELLANEOUS	TW OF TOW TOP OF WALL
DET DETAIL	MPH MILES PER HOUR	TPY TYPICAL
DI DROP INLET, DUCTILE IRON	N NORTHING	V VELOCITY
DIA DIAMETER	NTS NOT TO SCALE	V1/2 VELOCITY AT ONE HALF DEPTH
DWG DRAWING	OC ON CENTER	VC VERTICAL CURVE
E EASTING	OG ORIGINAL GROUND	VERT VERTICAL
EA OF EXIST EXISTING	OHE OVERHEAD ELECTRIC	VG VALLEY GUTTER
EC EACH	OZ OUNCE	W WATER
ECR END CURVE	PC OR POINT OF CURVE	WWF WELDED WIRE FABRIC
ECC END CURB RETURN	PCC ECCENTRIC	YD YARD
ECC ECCENTRIC	PL PROPERTY LINE	
EG EXISTING GRADE		

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE, WEST ONE NAD83(94) BASED ON REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS UTILIZING CORRECTIONS FROM THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK. COORDINATES AND DISTANCES HEREON ARE AT GROUND LEVEL BASED ON A COMBINED GRID TO GROUND FACTOR OF 1.000197939.

BASIS OF ELEVATIONS

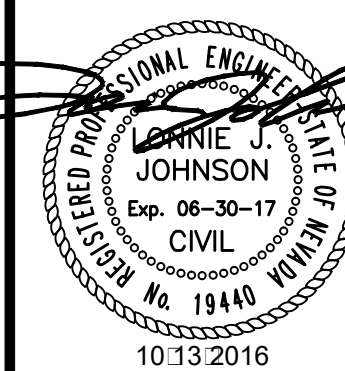
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVVD88) BASED UPON CITY OF RENO BENCHMARK 2305 BEING A 1-1/2" DIAMETER STEEL CAP IN THE TOP OF CURB AT THE NORTHEAST CORNER OF SOUTH VIRGINIA SOUTH MEADOWS PARKWAY, WITH AN ELEVATION OF 4508.42 FEET.

SHEET INDEX:

T1.0	TITLE SHEET
C1.0	SITE-UTILITY PLAN
C2.0	GRADING PLAN
C2.1	CROSS SECTIONS
L1	LANDSCAPE PLAN

DATE	MARK	REVISIONS	BY

PROFESSIONAL SEAL:

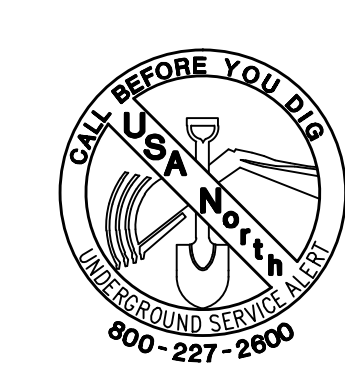


PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
SURVEYORS • CONSTRUCTION INSPECTION

cfa

1150 CORPORATE BLVD. RENO, NV 89502
(775) 856-1150 FAX: (775) 856-1160
WWW.CFARENO.COM

PRELIMINARY NOT FOR CONSTRUCTION



CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.

4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.

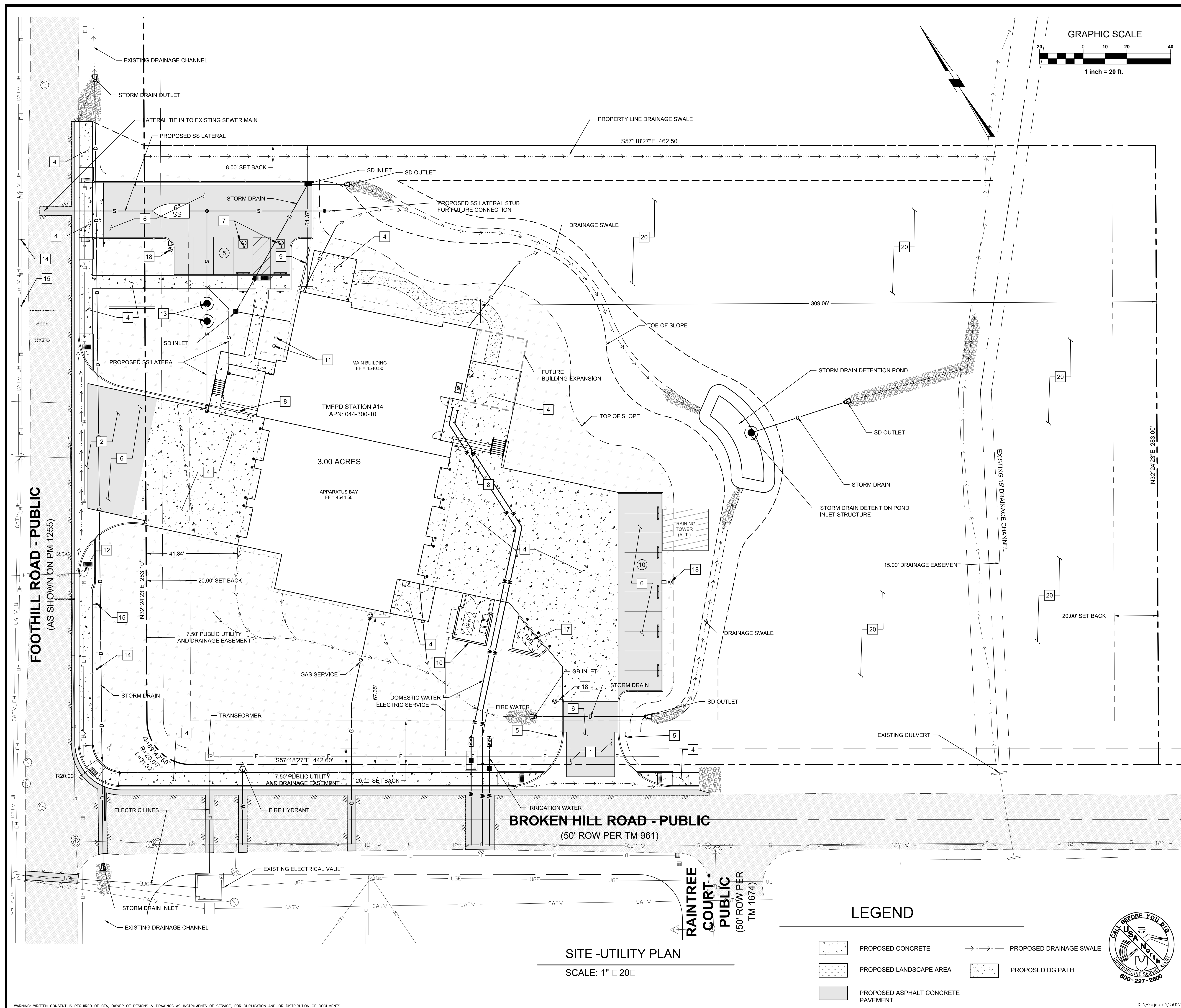
5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

NEVADA

SPECIAL USE PERMIT
TMFPD - STATION 14
TITLE SHEET
FOOTHILL DR. BROKEN HILL RD.
RENO, NV 89511

RENO

JOB NO. 15023.00
BY LJ/AE
DATE 10-13-2016
SHEET T1.0
5



- ### CONSTRUCTION NOTES
- 1 PROPOSED SITE ENTRANCE TO FIRE STATION
 - 2 PROPOSED FIRE STATION TRUCK DRIVEWAY EXIT
 - 3 NOT USED
 - 4 CONSTRUCT CONCRETE DRIVEWAY /SIDEWALK
 - 5 PROPOSED "FIRE APPARATUS ONLY - NO PUBLIC ACCESS" SIGN
 - 6 PROPOSED ASPHALT CONCRETE SECTION
 - 7 CONSTRUCT ADA PARKING SPACE
 - 8 PROPOSED RETAINING WALL
 - 9 PROPOSED SCREENING WALL
 - 10 PROPOSED CMU WALL FOR TRASH ENCLOSURE AND GENERATOR
 - 11 PROPOSED FLAG POLES
 - 12 EXISTING POLE AND LINES TO REMAIN
 - 13 PROPOSED SAND/OIL INTERCEPTOR
 - 14 SOLAR POWERED STAND ALONE FLASHING LIGHT
 - 15 PROPOSED "EMERGENCY VEHICLES, KEEP CLEAR" SIGN
 - 16 NOT USED
 - 17 PROPOSED FUELING TANK AND CMU WALL
 - 18 INSTALL PROPOSED LIGHT, REF. ELECTRICAL PLANS
 - 19 NOT USED
 - 20 UNDEVELOPED AREA - FUTURE PHASE
- OF PARKING SPACES IN A ROW

PARKING SUMMARY

STANDARD PARKING STALL	13
HANDICAP PARKING STALL	2
TOTAL PARKING	15

PRELIMINARY NOT FOR CONSTRUCTION

CAUTION - NOTICE TO CONTRACTOR

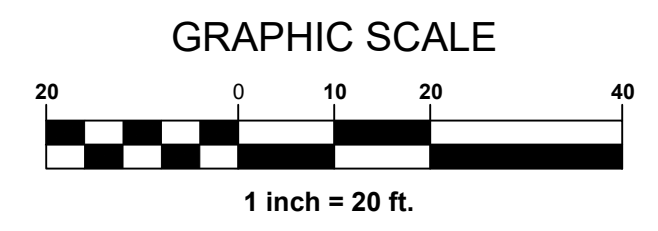
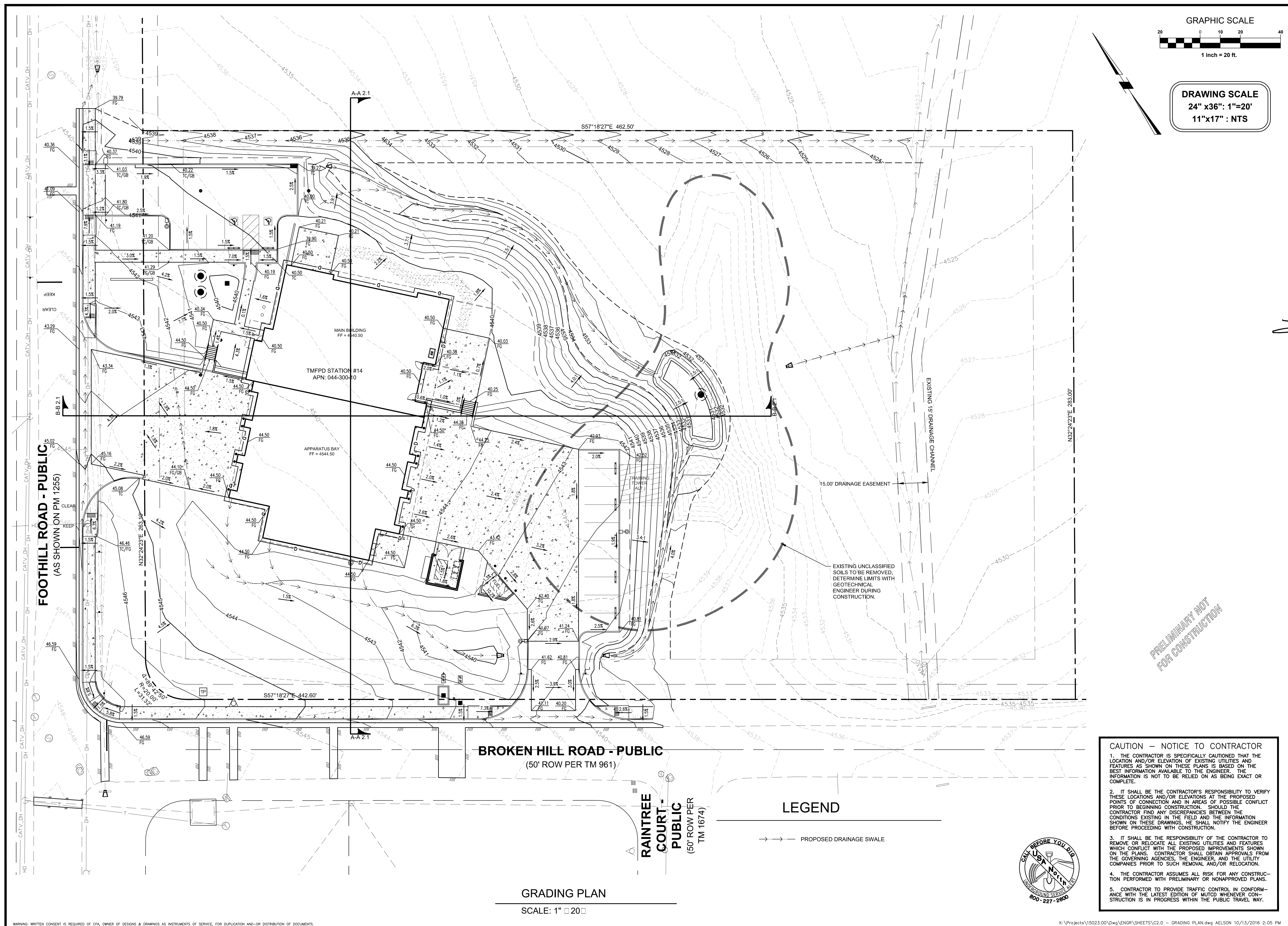
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LEGEND

	PROPOSED CONCRETE		PROPOSED DRAINAGE SWALE
	PROPOSED LANDSCAPE AREA		PROPOSED DG PATH
	PROPOSED ASPHALT CONCRETE PAVEMENT		

SITE - UTILITY PLAN
SCALE: 1" = 20'

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>MARK</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	MARK	BY					<p>PROFESSIONAL SEAL:</p> <p>PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS SURVEYORS • CONSTRUCTION INSPECTION</p> <p>cfa</p> <p>1150 CORPORATE BLVD. RENO, NV 89502 (775) 856-1150 FAX: (775) 856-1160 WWW.CFARENO.COM</p>
NO.	DATE	MARK	BY						
<p>SPECIAL USE PERMIT</p> <p>TMFPD - STATION #14</p> <p>SITE UTILITY PLAN</p> <p>FOOTHILL RD. - BROKEN HILL RD.</p> <p>RENO, NV 89511</p>	<p>NEVADA</p> <p>RENO</p> <p>JOB NO. 15023.00 BY LJA/AE DATE 10-13-2016</p> <p>SHEET C1.0</p> <p style="text-align: center; font-size: 2em;">5</p> <p>OF</p>								



DRAWING SCALE
 24" x 36" : 1"=20'
 11"x17" : NTS

BY	
REVISIONS	
DATE	
MARK	
PROFESSIONAL SEAL:	

cfa
 PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
 SURVEYORS • CONSTRUCTION INSPECTION
 1150 CORPORATE BLVD. RENO, NV 89502
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NEVADA
 SPECIAL USE PERMIT
 TMFPD - STATION #14
GRADING PLAN
 FOOTHILL RD. □ BROKEN HILL RD.
 RENO, NV 89511

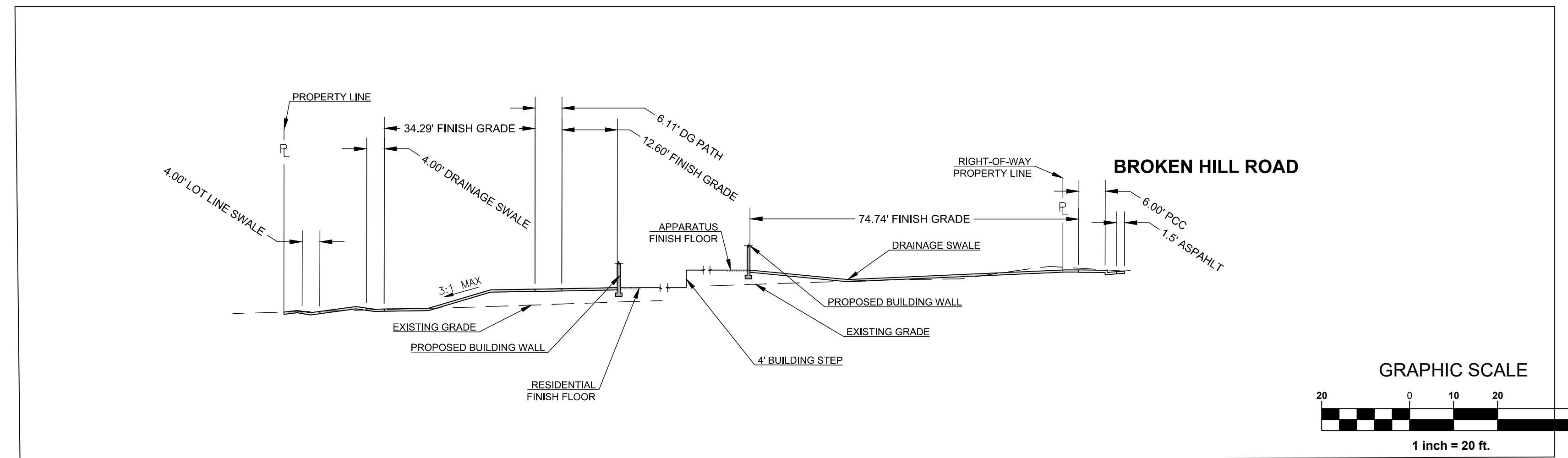
JOB NO.	15023.00
BY	LJ/AE
DATE	10-13-2016
SHEET	C2.0
	5

CAUTION - NOTICE TO CONTRACTOR

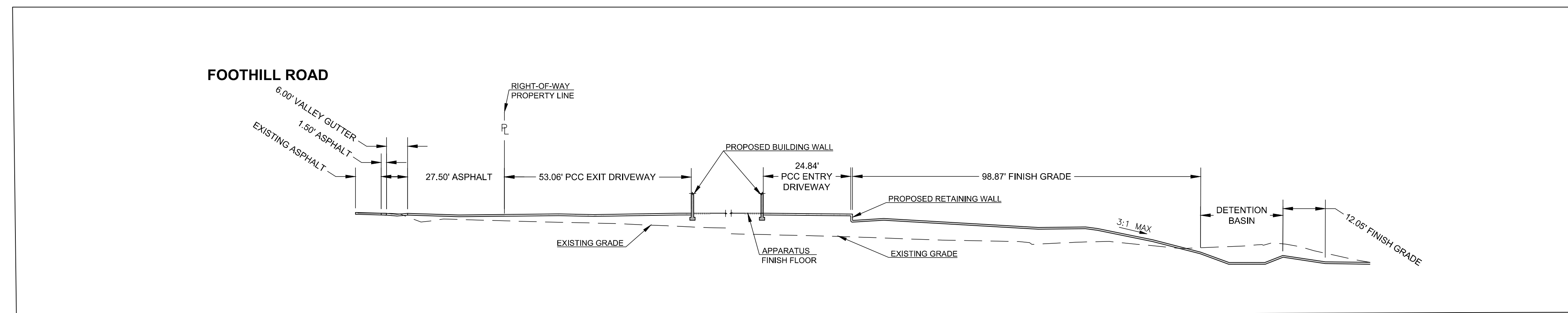
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DRAWING SCALE
 24" x 36" : 1"=20'
 11"x17" : NTS



CROSS SECTION A-A
 REF. SHEET C2.0



CROSS SECTION B-B
 REF. SHEET C2.0

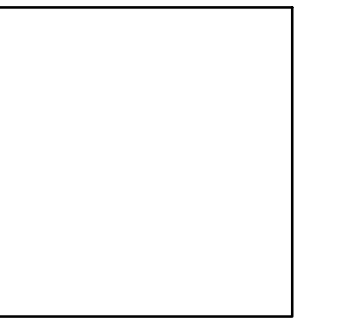
PRELIMINARY NOT
 FOR CONSTRUCTION

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BY	
REVISIONS	
DATE	
MARK	
DATE	
PROFESSIONAL SEAL:	
NEVADA	
SPECIAL USE PERMIT TMAPD - STATION 04 CROSS SECTIONS FOOHILL RD. - BROKEN HILL RD. RENO, NV 89511	
RENO	
JOB NO.	15023.00
BY	LJ/AE
DATE	10-13-2016
SHEET	C2.1
	5
OF	



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Consultant

GreenDesign
Landscape Architects, Inc.

Barbara M. Hatch ASLA
NV License No. 385
1464 Popinjay Drive
Reno, Nevada
89509
phone 775.829.1364
fax 775.829.1364
BHatch00@charter.net

PLEASE RECYCLE

Project
TMFPD FIRE STATION #14

FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511

Job No: 14-095.00

Owner
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT

SCHEMATIC DESIGN

REVISIONS	
DATE	DESCRIPTION

Sheet Title

PRELIMINARY LANDSCAPE PLAN

Date: 9-28-16

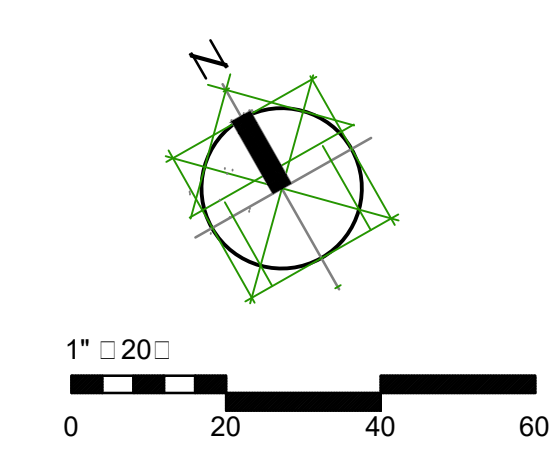
Sheet No:



- ### LANDSCAPE LEGEND
- LARGE EVERGREEN CONIFER TREE
 - SMALL EVERGREEN TREE
 - LARGE DECIDUOUS TREE
 - FLOWERING ACCENT TREE
 - LARGE SCREEN SHRUB
 - NATIVE SHRUBS PERENNIALS AND GRASSES. VERY LOW DENSITY. DG MULCH/BOULDER ACCENTS
 - LOW PLANTING TO MED. TALL SHRUBS. LOW DENSITY PLANTING 1/2" ROCK MOCHA MULCH
 - LOW PLANTING TO MED. TALL SHRUBS MEDIUM DENSITY, SOME GRASSES AND PERENNIALS MOCHA ROCK MULCH
 - PROJECT ACCENT PLANTING. FLOWERING SHRUBS - GROUND-COVERS, PERENNIAL ACCENT-HIGH DENSITY. DECOMPOSED GRANITE MULCH
 - LOW 2'-MAX HEIGHT GROUNDCOVERS COBBLE MULCH
 - SCREEN PLANTING TALL SHRUBS 6' LARGE COBBLE MULCH
 - SEEDED WITH NATIVE SHRUBS GRASSES HYDROSEED MIX
 - ROCK MULCH DECOMPOSED GRANITE
 - 3" - 8" DIA. COBBLED SWALE WITH BOULDER ACCENTS
 - 2' - 4' ROUNDED GRANITE BOULDERS OR UTILE SITE BOULDERS IF PRESENT IN MASS GRADING

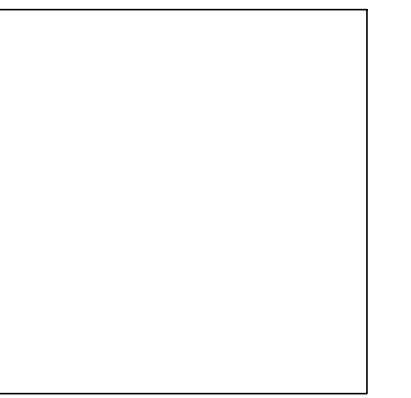
LANDSCAPE REQUIREMENTS

TOTAL DEVELOPMENT SITE AREA: 71,265 S.F. □
 LANDSCAPE REQUIRED (20'): 14,252 S.F.
 LANDSCAPE PROVIDED (46'): 33,234 S.F.
 PAVED AREA: 25,278 S.F.
 TURF AREA □ 290 S.F.
 PARKING PROVIDED □ 13 SPACES
 TREES REQUIRED: 150 LF OF STREET FRONTAGE (510 L.F.) □ 10 TREES
 130 PARKING SPACES □ 2 TREES
 120 LF OF RESIDENTIAL ADJACENCY (260 L.F.) □ 13
 TOTAL TREES REQUIRED: 25
 TOTAL TREES PROVIDED: 35



PRELIMINARY PLANT LIST:

SYM. NO.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LARGE DECIDUOUS TREES				
	FRAXINUS P. MARSHALL □	MARSHALL'S SEEDLESS ASH	2" MIN. CAL.	30' MIN.
	GLEDITSIA T. INERMIS □	HONEY LOCUST	2" MIN. CAL.	30' MIN.
SMALL ACCENT TREES				
	PRUNUS VIRGINIANA □	CHOKO CHERRY	5 GAL. MULTI-STEMMED	20'
	CERCIS CANADENSIS □	REDBUD	2" MIN. CAL.	20'
EVERGREEN TREES				
	PINUS NIGRA □	AUSTRIAN PINE	10' MIN. HEIGHT	20' MIN.
	CALOCEDRUS DECURRENS □	INCENSE CEDAR	10' MIN. HEIGHT	20' MIN.
	JUNIPERUS MONOSPERMA □	JUNIPER	6' MIN. HEIGHT	20' MIN.
SHRUBS				
	BUDDLEIA D. ROYAL RED □	BUTTERFLY BUSH	5 GAL.	6'
	CHAENOMELES J. JET TRAIL □	FLW. QUINCE	5 GAL.	5'
	SAMBUCUS N. MEXICANA □	ELDERBERRY	5 GAL.	8'
	RIBES VELLUTINUM □	CURRANT	5 GAL.	6'
	PRUNUS BESSEYI □	SAND CHERRY	5 GAL.	5'
	RHUS "GROW LOW" □	GROW LOW SUMAC	5 GAL.	5'
	SALVIA PACHYPHYLLA □	GIANT FLW. PURPLE SAGE	1 GAL.	3'
	MAHONIA REPENS □	CREeping MAHONIA	5 GAL.	3'
	PEROVSKIA A. BLUE SPIRE □	RUSSIAN SAGE	1 GAL.	6'
	CARYOPTERIS □	BLUE MIST SPIRAEA	1 GAL.	4'
	WORCHESTER GOLD □			
	PRUNUS ANDERSONII □	DESERT PEACH	1 GAL.	5'
	EPHEDRA VIRIDIS □	MORMON TEA	1 GAL.	5'
	PURSHIA TRIDENTATA □	BITTERBRUSH	1 GAL.	6'
	ARTEMISIA TRIDENTATA □	BIG SAGE	1 GAL.	4'
	ERIOGONUM UMBELLATUM □	SULPHUR FLW. BUCKWHEAT	1 GAL.	3'
	PINUS M. "SHERWOOD COMPACT" □	DW. MUGHO PINE	5 GAL. OR B. B.	3'
PERENNIALS				
	SEDUM "AUTUMN JOY" □	SEDUM	1 GAL.	2'
	OENOTHERA SPECIOSA □	MEXICAN PRIMROSE	1 GAL.	2'
	DELOSPERMA COOPERII □	HARDY ICEPLANT	2 GAL.	3'
	COREOPSIS V. "AGREB" □	COREOPSIS	1 GAL.	1'
	GALLARDIA G. "MANDARIN" □	BLANKET FLW.	1 GAL.	3'
	ACHILLEA MILLEFOLIUM □	YARROW	1 GAL.	3'
	AUSCHINERIA CALIFORNICA □	CALIFORNIA FUCHSIA	1 GAL.	2'
	SPHAERALCEA MUNROANA □	ORANGE GLOBE MALLOW	1 GAL.	3'
	HEUCHERELLA X H. "PINK FROST" □	CORAL BELLS	1 GAL.	2'
	MISCANTHUS ADIAGO □	MAIDENHAIR GRASS	1 GAL.	3'



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Consultant

JENSEN ENGINEERING INC.
Electrical Engineers
9655 Gateway Drive Reno, Nevada 89521-2988
Ph: (775) 852-2288 Fax: (775) 852-3388
email: Gerals@jeneng.com web: www.jeneng.com

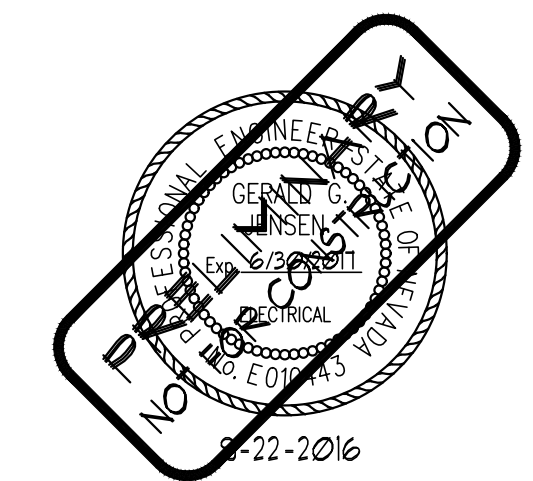
PLEASE RECYCLE

Project
TMFPD FIRE STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095.00

Owner
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT



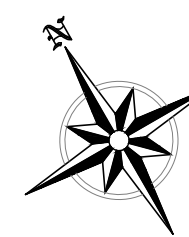
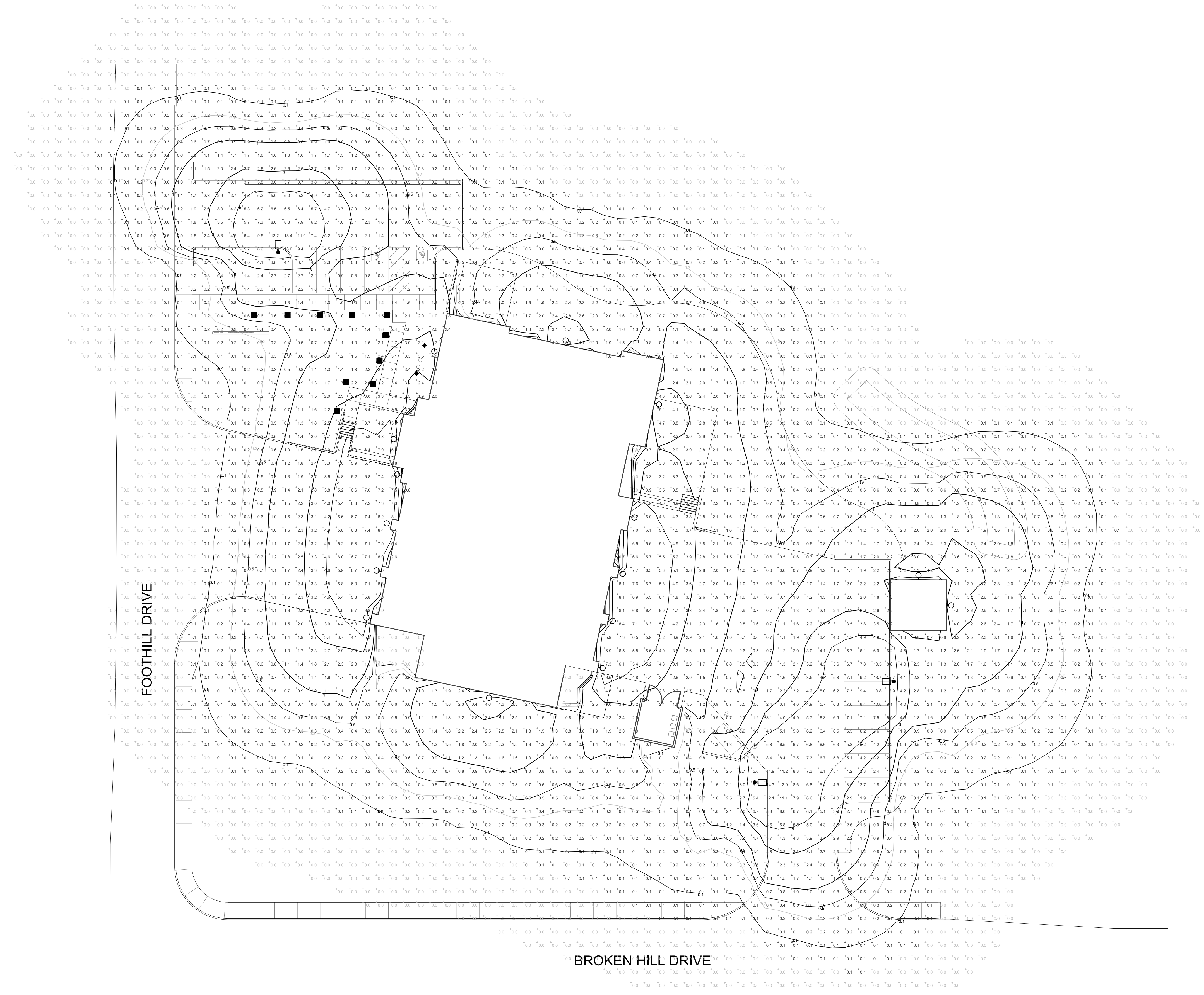
SCHEMATIC DESIGN

REVISIONS		DESCRIPTION
REV	DATE	

Sheet Title
SITE PHOTOMETRIC PLAN

Date: 09.22.2016
Sheet No:

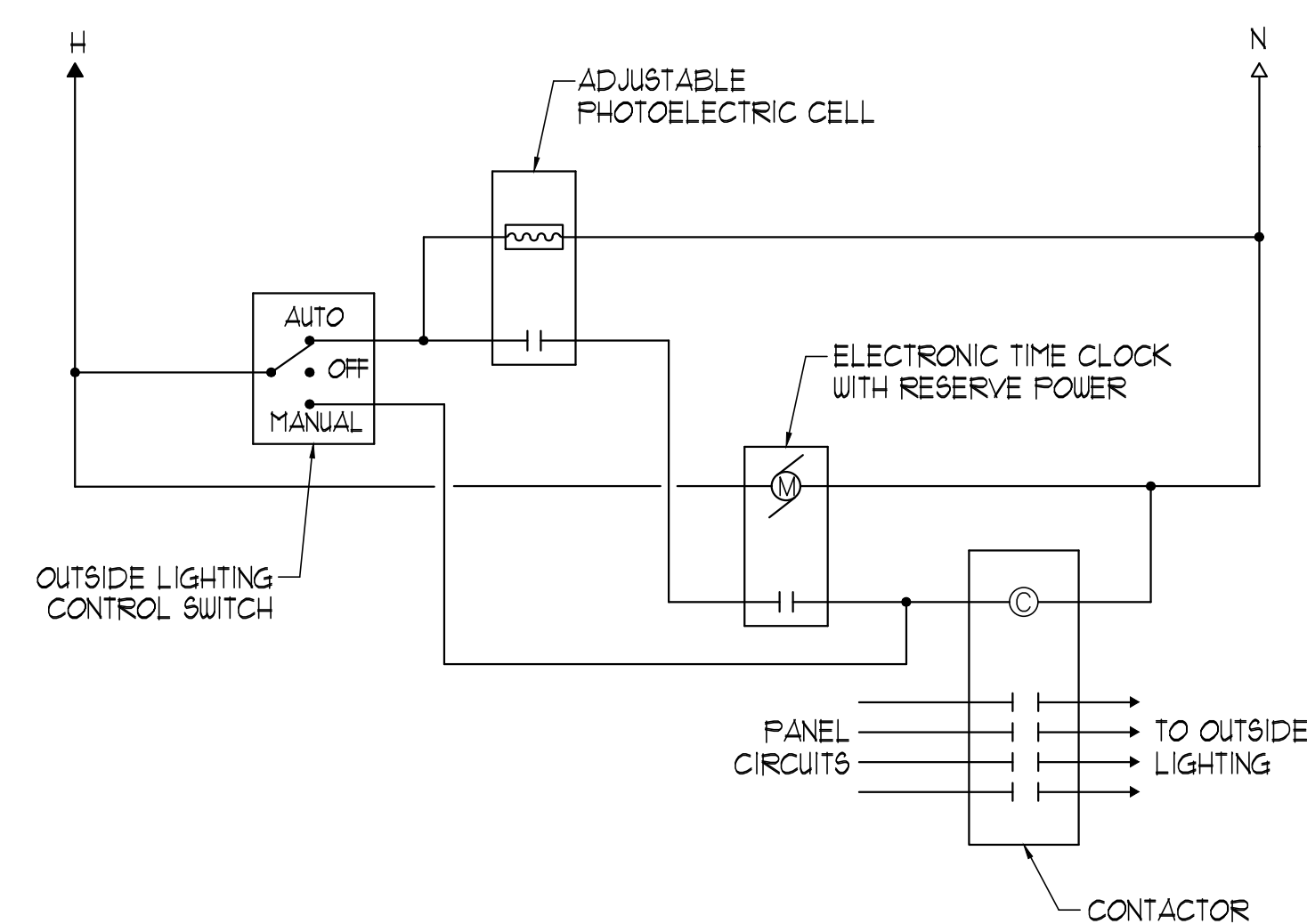
E2.02



SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

A
E2.02



OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:

1. LIGHTING CONTACTOR(S) SHALL BE 20A, 600V, 3-POLE, NEMA ENCLOSED
2. TIME CLOCK SHALL BE INTERMATIC * ET 2800 OR EQUIVALENT.
3. PHOTOCELL SHALL BE INTERMATIC * K4100/4200 OR EQUIVALENT.
4. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A., CLOCKS AND CONTACTORS) ADJACENT TO FEEDING ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE ON ROOF FACING NORTH.

OUTSIDE LIGHTING CONTROL
DIAGRAM
NOT TO SCALE

B
E2.02



ENGINEERS • LAND SURVEYORS
PLANNERS • LANDSCAPE ARCHITECTS

October 27, 2016

Roger Pelham, Senior Planner
Washoe County Community Services
1001 E. 9th Street
Reno, NV 89512

Re: Special Use Permit for TMFPD Station #14

Dear Roger,

This letter has been prepared in response to your request for additional information on TMFPD Station #14. Attached are the following maps for your review and clarification:

- Grading Plan (showing cut and fill quantities)
- Lighting Plan (showing parcel lines)
- Site Plan (showing future expansion areas)
- Haul Route Map

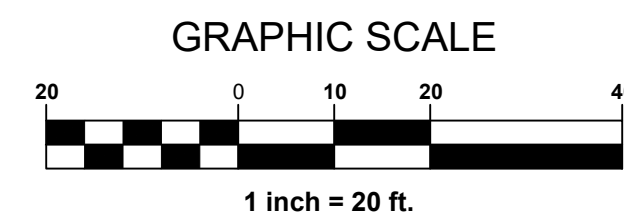
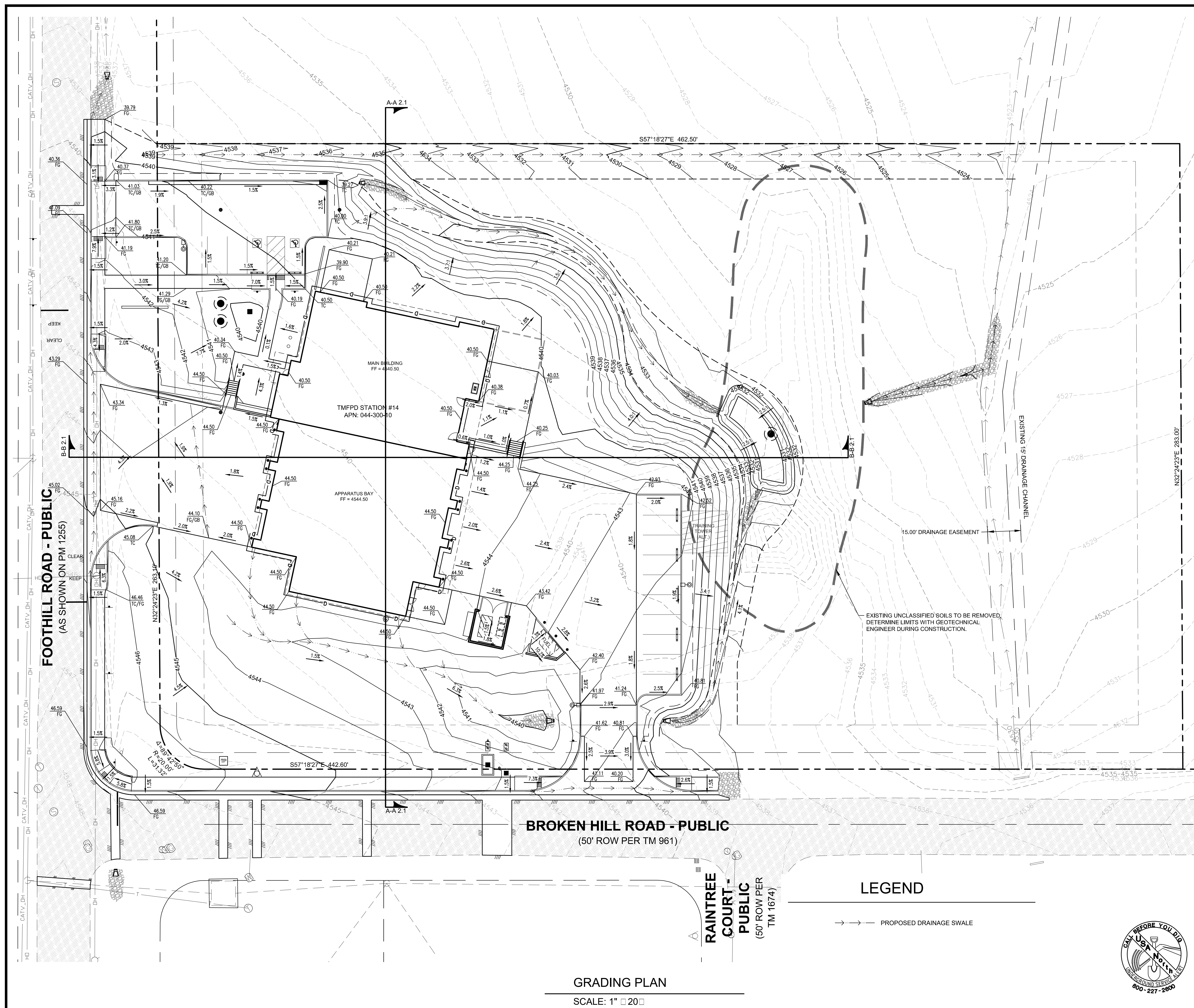
The future expansion areas are shown and color coded on the revised site plan. The training tower is anticipated to be developed within the next five years. The timing of the training tower is based on budget constraints and training facility needs. The additional crew living quarters is anticipated to be constructed within the next ten years. The timing for the additional crew living quarters is based on community growth and budgetary constraints.

Please contact me if you have any additional questions.

Sincerely,

A handwritten signature in cursive script that reads 'Angela Fuss'.

Angela Fuss, AICP
Director of Planning



DRAWING SCALE
 24" x 36" : 1"=20'
 11"x17" : NTS

EARTHWORK -
 UNDER HARDSCAPE, BUILDING & LANDSCAPED AREAS

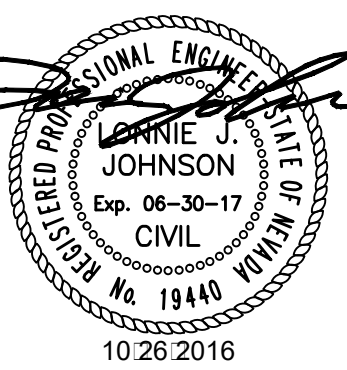
HARDSCAPE:	CUT: 194 CY
	FILL: 2,185 CY
BUILDING:	CUT: 62 CY
	FILL: 1,085 CY
LANDSCAPE:	CUT: 337 CY
	FILL: 2,487 CY
UNDOCUMENTED FILL:	CUT: 150 CY
	FILL: 0 CY
TOTAL (CY):	CUT: 716 CY
	FILL: 5,757 CY
	NET: 5,041 CY (FILL)

EARTHWORK -
 NOT UNDER LANDSCAPED AREA

UNDOCUMENTED FILL:	CUT: 1,028 CY
	FILL: 0 CY
DETENTION POND:	CUT: 37 CY
	FILL: 0 CY
TOTAL (CY):	CUT: 1,065 CY
	FILL: 0 CY
	NET: 1,065 CY (CUT)

NO.	DATE	MARK	REVISIONS	BY

PROFESSIONAL SEAL:



cfa PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
 SURVEYORS • CONSTRUCTION INSPECTION
 1150 CORPORATE BLVD. RENO, NV 89502
 (775) 856-1150 FAX: (775) 856-1160
 WWW.CFARENO.COM

PRELIMINARY NOT
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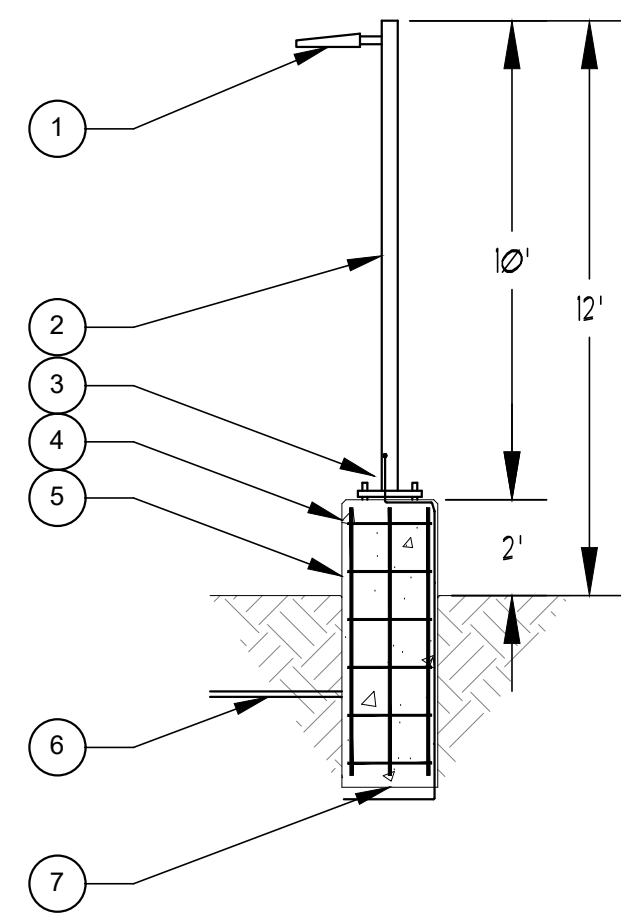


GRADING PLAN
 SCALE: 1" = 20'

SPECIAL USE PERMIT
 TMFPD - STATION #14
GRADING PLAN
 FOOTHILL RD. & BROKEN HILL RD.
 RENO, NV 89511

NEVADA

JOB NO. 15023.00
 BY LJA/AE
 DATE 10-26-2016
 SHEET **C2.0**
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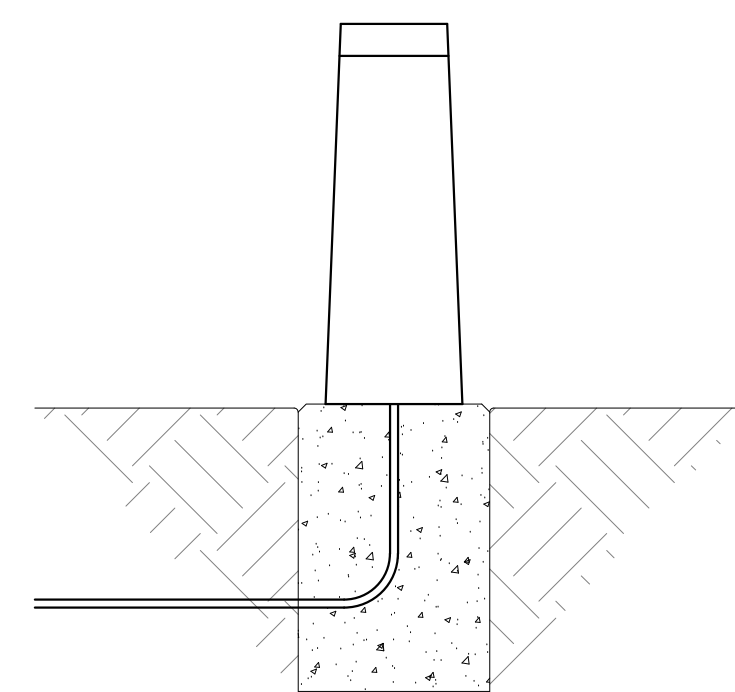
POLE LUMINAIRE DETAIL

SCALE: 1/4" = 1'-0"

B
E2.01

POLE & LUMINAIRE NOTES:

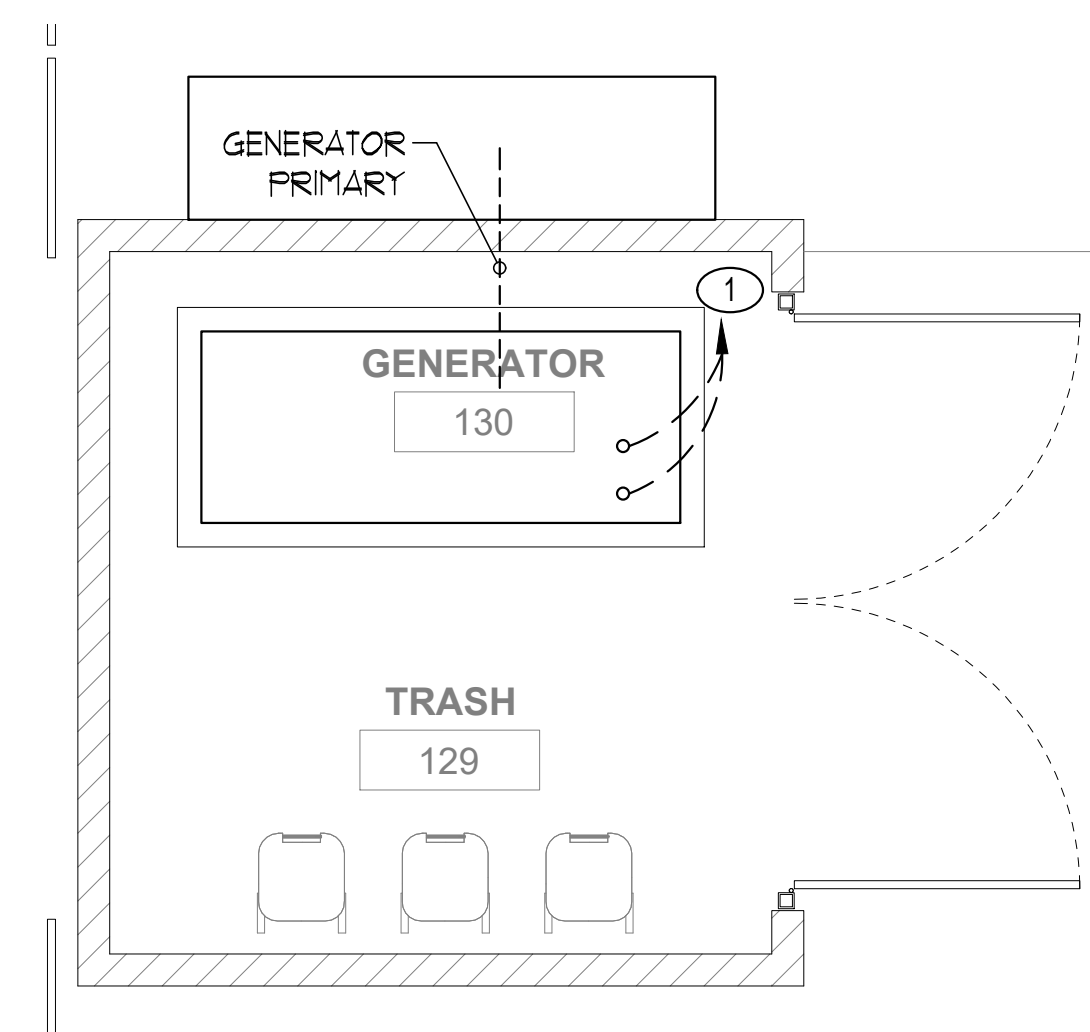
- 1 ACQUITY BRAND'S 105X10-LED-400-1000-40K-14H-1VOLT LUMINAIRE. (LUMINAIRE EPA = 12 SQFT. EACH)
- 2 ACQUITY BRAND'S 985-10-40 SQUARE STRAIGHT STEEL POLE (10' HIGH X 4" SQUARE) WITH ANCHOR BOLT MOUNTING FLANGE AND FINISH TO MATCH EXISTING POLES. POLE RATED FOR 100 MPH WINDS, WITH 13 GUST FACTOR, WITH LUMINAIRE(S) ATTACHED.
- 3 INSTALL DRY-PAK CONCRETE BETWEEN POLE MOUNTING FLANGE AND CONCRETE FOUNDATION TACK WELD ATTACHMENT NUTS. PROVIDE AND INSTALL MATCHING BASE BOLT COVER.
- 4 STEEL REINFORCED CONCRETE POLE BASE. CONTRACTOR SHALL RETAIN STRUCTURAL ENGINEER TO DESIGN POLE BASE AND SPECIFICATIONS.
- 5 ALL POLE BASES SHALL BE LOCATED NOT LESS THAN TWO FEET BACK FROM THE EDGE OF ANY ADJACENT CURB OR SIDEWALK EDGE.
- 6 UNDERGROUND ELECTRICAL LIGHTING SYSTEM CONDUITS AND WIRING SHALL BE MINIMUM 24" BELOW FINISHED GRADE.
- 7 15' - 4 BARE SOL. CU COILED IN BOTTOM OF FOUNDATION HOLE FOR LIGHTNING GROUND. EXTEND LIGHTNING GROUND CONDUCTOR UP ALONG INSIDE EDGE OF FOUNDATION AND SECURELY BOND LIGHTNING GROUND CONDUCTOR TO POLE SHAFT.



BOLLARD LUMINAIRE DETAIL

SCALE: 1/4" = 1'-0"

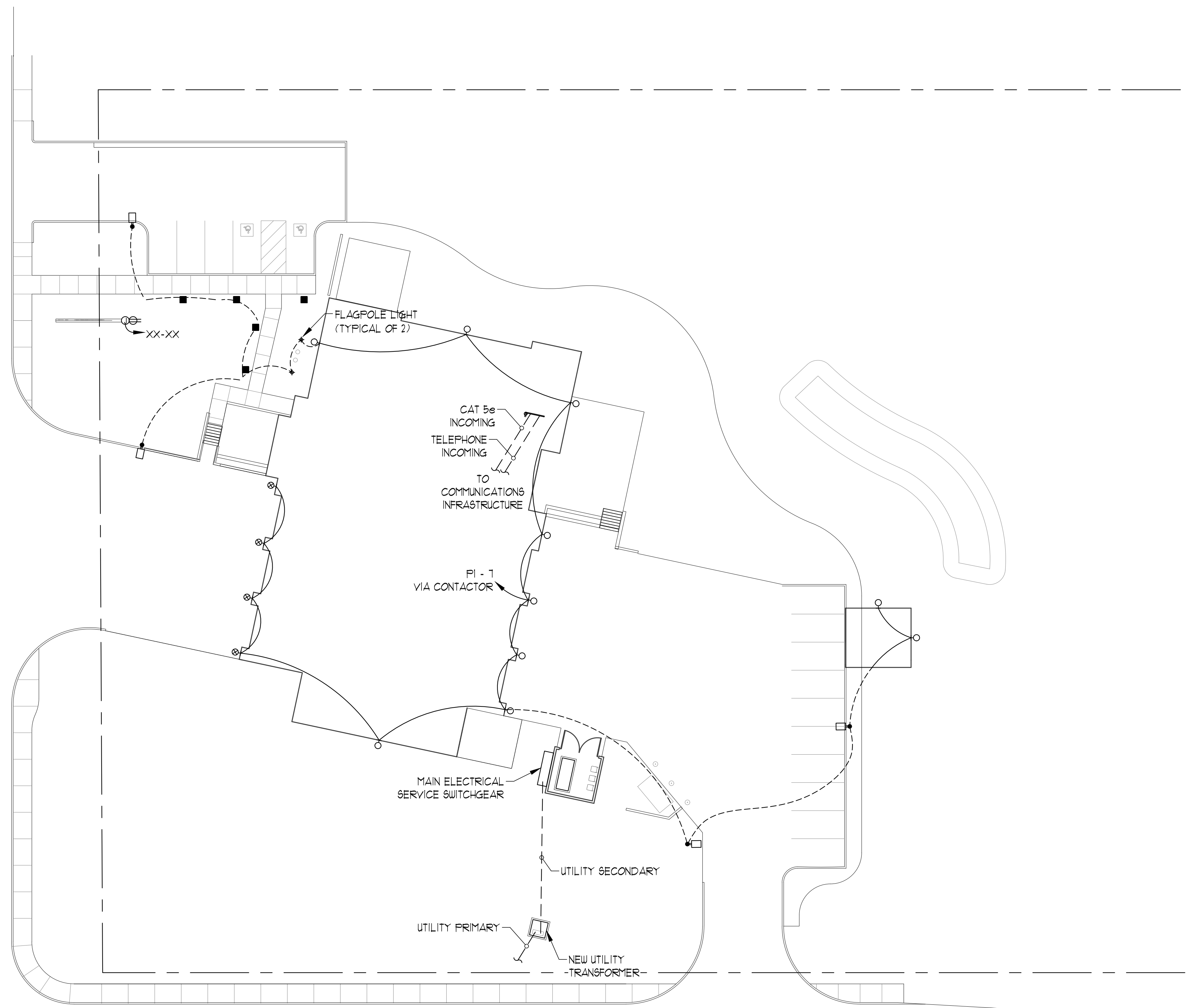
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E2.01



AUXILIARY BUILDING ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

D
E2.01



FOOTHILL DRIVE

BROKEN HILL DRIVE



SITE ELECTRICAL PLAN

SCALE: 1" = 20'-0"

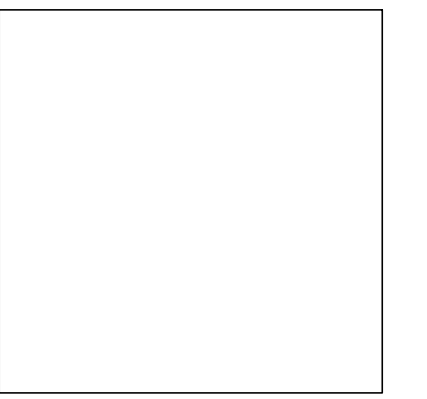
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E2.01

NOTES: (THIS SHEET ONLY)

- 1 PROVIDE AND INSTALL 1" CONDUIT WITH TWO (2) - #2 Cu 4 (1) - #2 Cu GROUND TO PANEL FI-40, FI-42 EACH, FOR CONNECTION TO GENERATOR BLOCK HEATER AND GENERATOR BATTERY CHARGER.

tsk

225 South Arlington Avenue
Reno NV, 89501
phone: 775.857.2949
fax: 775.857.2403
www.tska.com



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Consultant

JENSEN ENGINEERING INC. Electrical Engineers
9655 Gateway Drive Reno, Nevada 89521-2968
Ph: (775) 852-2288 Fax: (775) 852-3388
email: Gerald@jenseng.com web: www.jenseng.com

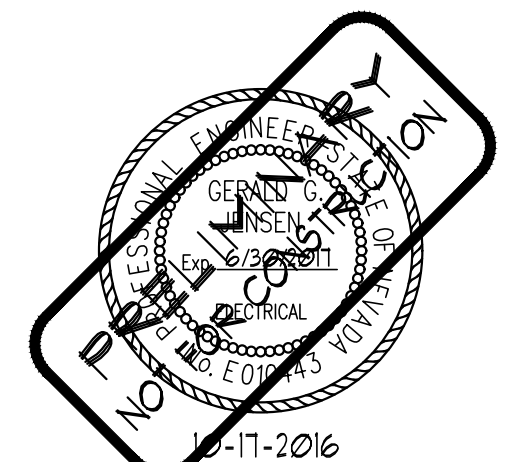
PLEASE RECYCLE

Project
STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095.00

Owner
**TRUCKEE MEADOWS
FIRE PROTECTION
DISTRICT**



DESIGN DEVELOPMENT

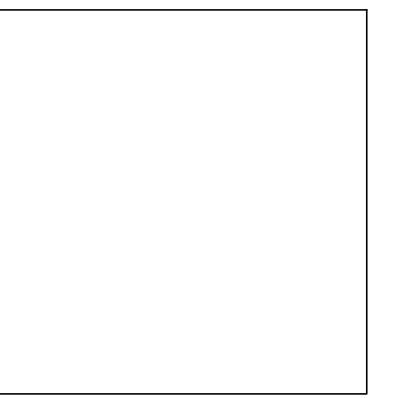
REV	DATE	REVISIONS DESCRIPTION

Sheet Title
**SITE ELECTRICAL
PLAN**

Date: 10.17.2016
Sheet No:

E2.01

SB16-010
EXHIBIT F



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JENSEN ENGINEERING INC.
Electrical Engineers
9655 Gateway Drive Reno, Nevada 89521-2988
Ph: (775) 852-2288 Fax: (775) 852-3388
email: ccoras@jengeng.com web: www.jeneng.com

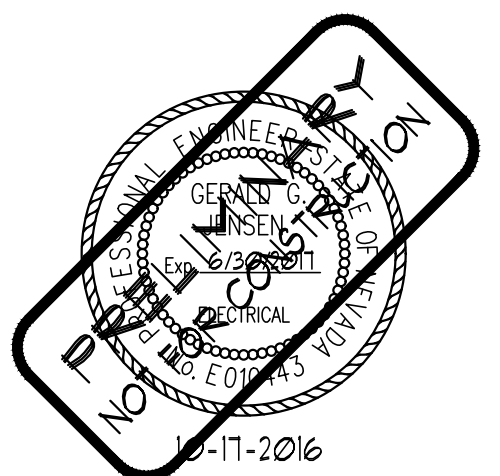
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Project
STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095.00

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**TRUCKEE MEADOWS
FIRE PROTECTION
DISTRICT**



**DESIGN
DEVELOPMENT**

REVISIONS		
REV	DATE	DESCRIPTION

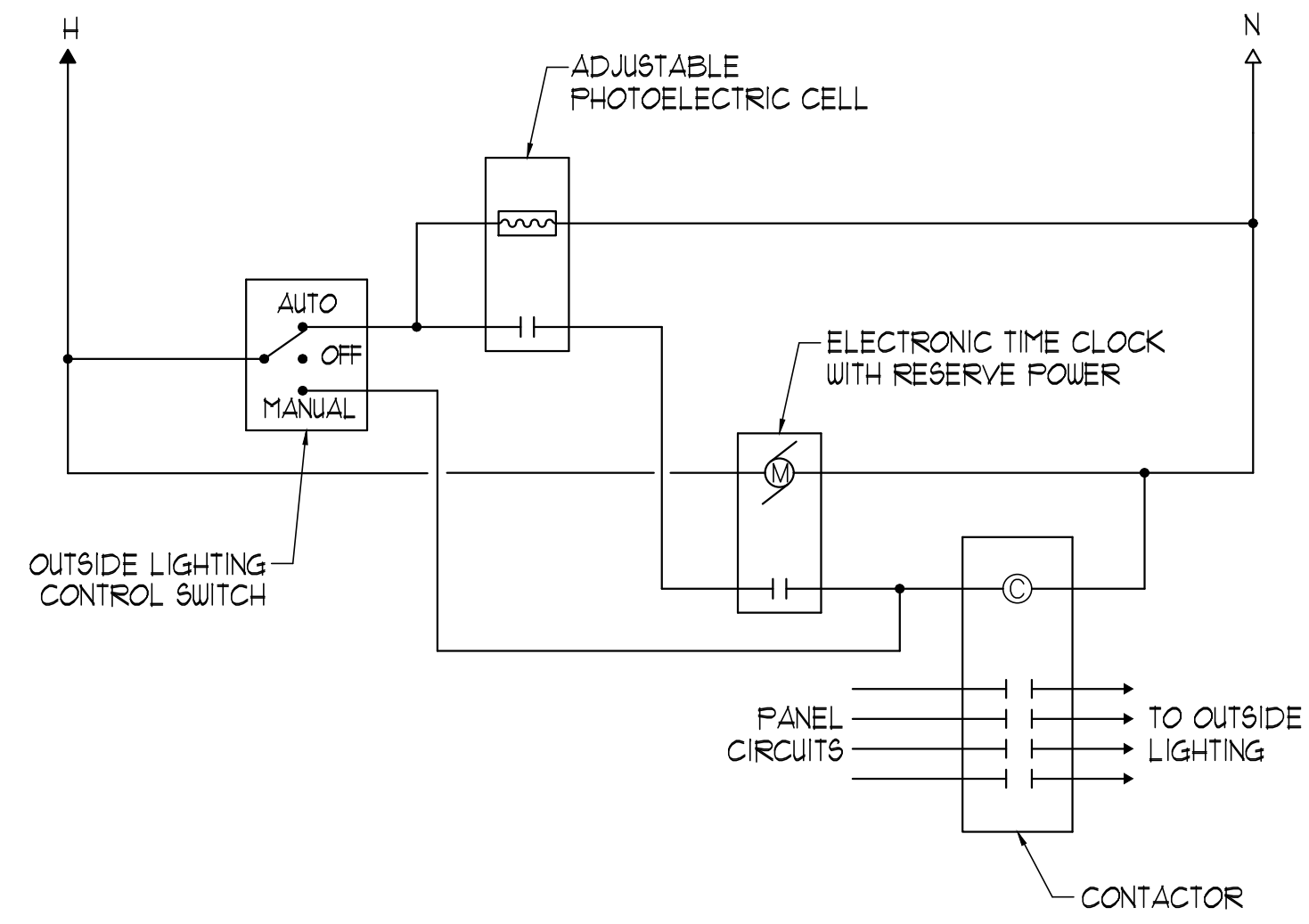
Sheet Title

**SITE PHOTOMETRIC
PLAN**

Date: 10.17.2016

Sheet No:

E2.02

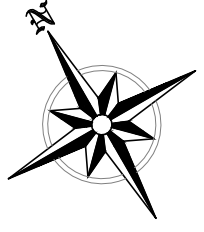
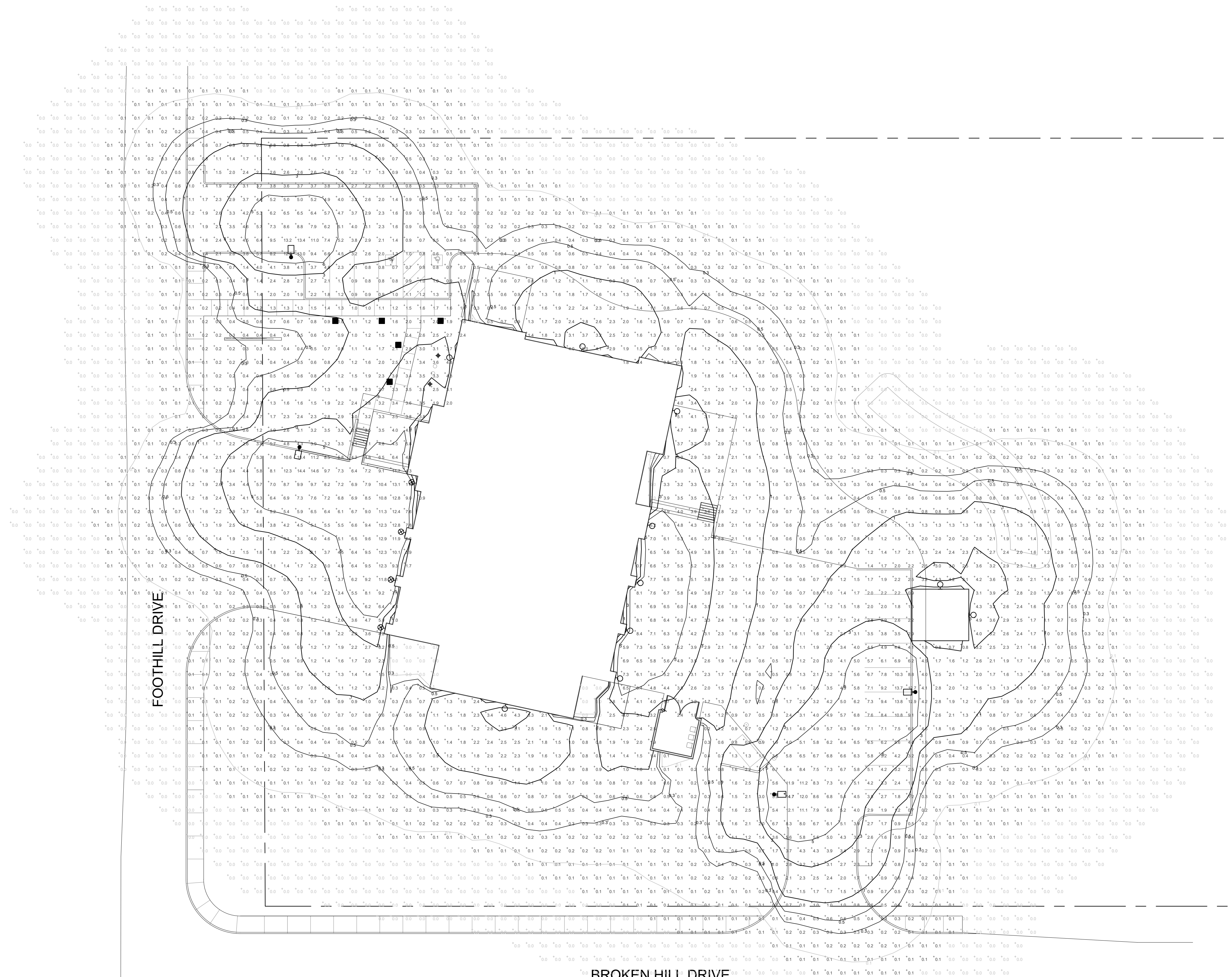
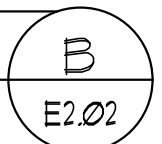


OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:

1. LIGHTING CONTACTOR(S) SHALL BE 20A, 600V, 3-POLE, NEMA ENCLOSED
2. TIME CLOCK SHALL BE INTERMATIC * ET 2800 OR EQUIVALENT.
3. PHOTOCELL SHALL BE INTERMATIC * K4100/4200 OR EQUIVALENT.
4. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A., CLOCKS AND CONTACTORS) ADJACENT TO FEEDING ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE ON ROOF FACING NORTH.

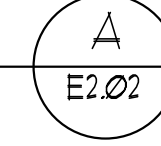
OUTSIDE LIGHTING CONTROL

DIAGRAM
NOT TO SCALE

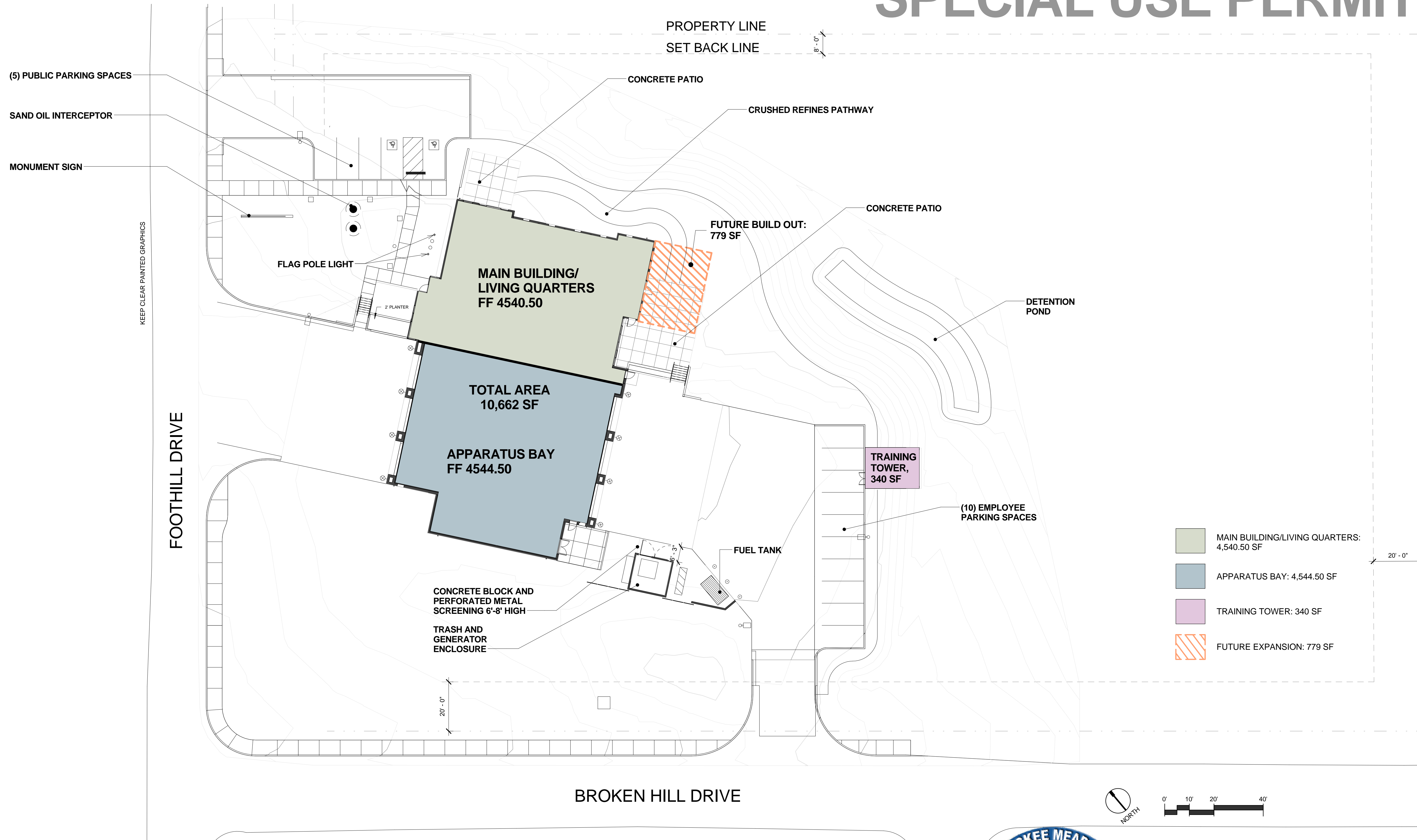


SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"



TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - SITE



STATION #14
FOOTHILL RD & BROKEN HILL RD.

10/17/16



Legend

- Haul-off Route
- Import Route



Reno

TMFPD
Station #14
Project Site

Lockwood
Regional
Landfill

Rilite
Aggregate
Co. (Pit)

